



**TOWN OF NORTHBRIDGE**  
**PLANNING BOARD**  
7 MAIN STREET  
WHITINSVILLE, MASSACHUSETTS 01588

PHONE: (508) 234-2447

FAX: (508) 234-0821

**AGENDA**  
**TUESDAY, NOVEMBER 27, 2018**

Northbridge Memorial Town Hall, 7 Main Street  
Board of Selectmen Room  
7:00 PM

[REVISED 11.20.2018]

**I. CITIZENS FORUM**

- II. FORM A 175 HANNAH DRIVE (LOT 6-R2) & LOT 7-R2 -REVIEW/DECISION**  
ANR -81P plan (Assessors Map 10 Parcel 49 & 50)
- 178 & 190 HANNAH DRIVE (LOT 13-R2 & LOT 14 R-2) -REVIEW/DECISION**  
ANR -81P plan (Assessors Map 10 Parcels 56 & 57)
- III. (7:05 PM) WINSTON WOODS DEFINITIVE SUBDIVISION -CONT. PUBLIC HEARING**  
Chapter 222 -Subdivision Rules & Regulations  
Assessors Map 15A Parcels 224-232 -Spring Street
- V. (7:45PM) SYNCARPHA NORTHBRIDGE I & II MODIFICATION) -PUBLIC MEETING**  
Site Plan Review: Large-Scale Solar Photovoltaic Installations  
Assessor Map 14 Parcel(s) 15 & 22 -Church Street & Providence Road

**OLD / NEW BUSINESS**

Approval of Meeting Minutes -November 13, 2018  
Open Space & Recreational Plan Update -Planning Board Representative  
Presidential Farms Parcels A & D -Status of Completion/Land Trust (Bike/Walking Path & Recreation Lot)  
Presidential Farms Phase V (Roosevelt Drive) -Performance Surety & Request for Lot Release  
(Pre-submittal) Recreational Marijuana Cultivation Facility (Main St/Douglas Rd) -Review/Discussion  
(Pre-submittal) Moon Hill Estates, Definitive Subdivision -Request to Reduce Application Fee  
Camelot - Construction Status/Bond Reduction Request  
Leonardo Estates -Construction Status/Schedule  
Hemlock Estates -DPW -Highway/Sewer Report(s)  
Planning Board -Associate Member (Vacancy)  
Streetlight Installation -DPW Status/Update  
Planning -Weekly Report(s)  
Planning Board Concerns  
Mail -Review  
Other

Please note this Planning Board Agenda may be subject to change.  
**The next meeting of the Planning Board is scheduled for December 11, 2018**

*[An audio recording of the meeting may be made to assist in the preparation of minutes; such recording will not be archived]  
Meeting minutes shall serve as the official record of the Planning Board*



TOWN OF NORTHBRIDGE  
**PLANNING BOARD**  
7 MAIN STREET  
WHITINSVILLE, MASSACHUSETTS 01588

PHONE: (508) 234-2447

FAX: (508) 234-0821

**AGENDA**  
**TUESDAY, DECEMBER 11, 2018**

Northbridge Memorial Town Hall, 7 Main Street  
Board of Selectmen Room  
7:00 PM

**B. Massey Not Available**

**I. CITIZENS FORUM**

**II. FORM A**

**III. (7:05 PM) PLANNED BUSINESS DEVELOPMENT**

Main Street/Water Street (Assessor Map 2 Parcels 36 & 37)  
Auto Repair, Car Wash & Contractors' Yard  
Special Permit [§173-47 B (2)] & Site Plan Review [§173-49.1]

**-CONT. PUBLIC HEARING**

**IV.**

**OLD / NEW BUSINESS**

Approval of Meeting Minutes –  
Subdivision -Status/Update(s)  
Planning Board -Associate Member (Vacancy)  
Planning -Weekly Report(s)  
Planning Board Concerns  
Mail -Review  
Other

Please note this Planning Board Agenda may be subject to change.  
**The next meeting of the Planning Board is scheduled for January 08, 2019**

*[An audio recording of the meeting may be made to assist in the preparation of minutes; such recording will not be archived]  
Meeting minutes shall serve as the official record of the Planning Board*



**TOWN OF NORTHBRIDGE**  
**PLANNING BOARD**  
7 MAIN STREET  
WHITINSVILLE, MASSACHUSETTS 01588

PHONE: (508) 234-2447

FAX: (508) 234-0821

**AGENDA**  
**TUESDAY, JANUARY 08, 2019**

Northbridge Memorial Town Hall, 7 Main Street  
Board of Selectmen Room  
7:00 PM

**DRAFT**

- I. CITIZENS FORUM
- II. FORM A
- III. (7:05 PM)

**OLD / NEW BUSINESS**

Approval of Meeting Minutes -  
Planning Board -Associate Member (Vacancy)  
Streetlight Installation -DPW Status/Update  
Planning -Weekly Report(s)  
Planning Board Concerns  
Mail -Review  
Other

Please note this Planning Board Agenda may be subject to change.  
**The next meeting of the Planning Board is scheduled for January 22, 2019**

*[An audio recording of the meeting may be made to assist in the preparation of minutes; such recording will not be archived]  
Meeting minutes shall serve as the official record of the Planning Board*

NORTHBRIDGE PLANNING BOARD

FORM A

APPLICATION FOR ENDORSEMENT OF PLAN  
BELIEVED NOT TO REQUIRE APPROVAL



11/20, 20<sup>18</sup>

Applicant: Pasture Development Group, LLC

Address: 287 Chauncy Street, C100, Mansfield, MA 02048

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by the Planning Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: *(Check as Appropriate)*

- \_\_\_\_\_ 1. The accompanying plan is not a subdivision because the plan does not show a subdivision of land.
- \_\_\_\_\_ 2. The division of the tract of land shown on the accompanying plan is not a subdivision because every lot shown on the plan has frontage of at least such distance is presently required by the Northbridge Zoning Bylaws under Section \_\_\_\_\_, which requires \_\_\_\_\_ feet for erection of a building on such lot; and ever lot on the plan has such frontage on :
  - \_\_\_\_\_ (a) a way which the Town Clerk certifies is maintained and used as a public way, namely \_\_\_\_\_
  - \_\_\_\_\_ (b) a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely \_\_\_\_\_ and subject to the following conditions: \_\_\_\_\_
  - \_\_\_\_\_ (c) a private way in existence on November 13, 1956, when the subdivision control law became effective in Northbridge, having in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide the needs for vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely \_\_\_\_\_
- X   3. The division of tract of land shown on the accompanying plan is not a "subdivision" because it shows a proposed conveyance/other instrument, namely \_\_\_\_\_ which adds to/takes away from/changes the size and shape of the lots in such a manner so that no lot affected is left without frontage as required by the Northbridge Zoning Bylaw under Section \_\_\_\_\_, which requires \_\_\_\_\_ feet.
- \_\_\_\_\_ 4. The division of tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically \_\_\_\_\_ buildings were standing on the plan prior to November 13, 1956, the date the subdivision control law went into effect in the

Town of Northbridge and one of such buildings remains standing on each of the lots/said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the subdivision control law is attached.

\_\_\_\_ 5. Other reasons or comments: (see MGL Chapter 41, § 81-L)

The owners title to the land is derived from C+S Realty Trust, dated 12/1 19 2014  
and recorded in the Worcester County Registry of Deeds, Book 53101, Page 92  
or Land Court Certificate of Title No. \_\_\_\_\_, registered in \_\_\_\_\_ District Book \_\_\_\_\_  
Page \_\_\_\_\_, and Assessor's Book \_\_\_\_\_, Page \_\_\_\_\_.

Applicant's Signature: [Signature] Pasture Development Group LLC Date: 11/10/18

Applicant's Address: Lot 7 Hannah Drive, Whitinsville, MA 01588

Applicant's Telephone: (401) 265-5389

Owner's Signature: [Signature] Jessica Casman Date: 11/9/18

Owner's Address: 175 Hannah Dr, Whitinsville, MA 01588

Owner's Telephone: 207-671-2731 ; 609-731-9061

Surveyor's Signature: [Signature] Ernest Chelun Date: 11/20/18

Surveyor's Address: 104 MENDON ST UXBIDGE MA 01569

Surveyor's Telephone: (508) 278-3897

Received by the Northbridge Town Clerk:

Date: \_\_\_\_\_

Time: \_\_\_\_\_

Signature: \_\_\_\_\_



NORTHBRIDGE PLANNING BOARD

FORM A

APPLICATION FOR ENDORSEMENT OF PLAN  
BELIEVED NOT TO REQUIRE APPROVAL



11/20, 20 18

Applicant: Kevin Pires

Address: 178 Hannah Drive, Whitinsville, MA 01588

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by the Planning Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons: *(Check as Appropriate)*

- \_\_\_\_\_ 1. The accompanying plan is not a subdivision because the plan does not show a subdivision of land.
- \_\_\_\_\_ 2. The division of the tract of land shown on the accompanying plan is not a subdivision because every lot shown on the plan has frontage of at least such distance is presently required by the Northbridge Zoning Bylaws under Section \_\_\_\_\_, which requires \_\_\_\_\_ feet for erection of a building on such lot; and ever lot on the plan has such frontage on :
  - \_\_\_\_\_ (a) a way which the Town Clerk certifies is maintained and used as a public way, namely \_\_\_\_\_
  - \_\_\_\_\_ (b) a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely \_\_\_\_\_ on \_\_\_\_\_ and subject to the following conditions: \_\_\_\_\_
  - \_\_\_\_\_ (c) a private way in existence on November 13, 1956, when the subdivision control law became effective in Northbridge, having in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide the needs for vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely \_\_\_\_\_
- X  
\_\_\_\_\_ 3. The division of tract of land shown on the accompanying plan is not a "subdivision" because it shows a proposed conveyance/other instrument, namely \_\_\_\_\_ which adds to/takes away from/changes the size and shape of the lots in such a manner so that no lot affected is left without frontage as required by the Northbridge Zoning Bylaw under Section \_\_\_\_\_, which requires \_\_\_\_\_ feet.
- \_\_\_\_\_ 4. The division of tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically \_\_\_\_\_ buildings were standing on the plan prior to November 13, 1956, the date the subdivision control law went into effect in the

Town of Northbridge and one of such buildings remains standing on each of the lots/said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the subdivision control law is attached.

\_\_\_\_ 5. Other reasons or comments: (see MGL Chapter 41, § 81-L)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The owners title to the land is derived from C+S Realty Trust, dated 12/1 19 2014  
and recorded in the Worcester County Registry of Deeds, Book 53101, Page 92  
or Land Court Certificate of Title No. \_\_\_\_\_, registered in \_\_\_\_\_ District Book \_\_\_\_\_  
Page \_\_\_\_\_, and Assessor's Book \_\_\_\_\_, Page \_\_\_\_\_.

Applicant's Signature: [Signature] Date: 11/14/2018  
Applicant's Address: 178 Hannah dr MA 01580  
Applicant's Telephone: 508-317-6703

Owner's Signature: [Signature] Date: 11/14/18  
Owner's Address: 190 Hannah Dr Whitinsville MA 01588  
Owner's Telephone: 508-838-5263

Surveyor's Signature: [Signature] Date: 11/14/18  
Surveyor's Address: 104 MENDON ST, UXBIDGE, MA 01569  
Surveyor's Telephone: (508) 278-3897

**Received by the Northbridge Town Clerk:**

Date: \_\_\_\_\_  
Time: \_\_\_\_\_  
Signature: \_\_\_\_\_







## COMMUNITY PLANNING & DEVELOPMENT

R. Gary Bechtholdt II, Town Planner

7 Main Street Whitinsville, MA 01588

Phone: (508) 234.2447 Fax: (508) 234.0814

[gbechtholdt@northbridgemass.org](mailto:gbechtholdt@northbridgemass.org)

### MEMORANDUM

Date: November 06, 2018 [updated comments]  
September 26, 2017/October 04, 2017

TO: NORTHBRIDGE PLANNING BOARD  
-with copy to Michael Hassett, Guerriere & Halnon, Inc.

From: R. Gary Bechtholdt II, Town Planner 

RE: **WINSTON WOODS**  
Definitive Residential Subdivision [See pages 5-12]

COPY

The Planning office offers the following initial comments as it relates to the above noted definitive subdivision plan application proposed at the end of Spring Street.

#### A. GENERAL

1. The Form C [Application for Approval of Definitive Plan] was filed with the Office of the Town Clerk on August 31, 2017 and with the Board of Health on August 22, 2017.
2. Legal ad and abutter notification has been satisfied; publication of hearing notice ran in the Worcester Telegram & Gazette September 12, 2017 and September 19, 2017 with abutter notification mailed September 06, 2017. The notice of Public Hearing was filed and posted with the Office of the Town Clerk on August 30, 2017. *Owner/Applicant shall provide the Planning office with a check in the amount of \$141.97 made payable to "Worcester Telegram & Gazette" for the legal ad publications.*
3. Accompanying the Form C and Form D [Designer's Certificate] is Definitive Subdivision plan entitled "Winston Woods" prepared by Guerriere & Halnon, Inc., of Whitinsville, MA dated August 16, 2017, consisting of Cover Sheet [sheet 1 of 10], Definitive Subdivision Plan [sheet 2 of 10], Existing Conditions Plan [sheet 4 of 10], Grading Plan [sheet 5 of 10], Plan and Profile [sheets 6 & 7 of 10], Erosion Control Plan [sheet 8 of 10], and Construction Details [sheet 9 & 10 of 10]; Waiver Requests letter dated August 16, 2017 from Guerriere & Halnon, Inc.; Project Narrative dated August 16, 2017 from Guerriere & Halnon, Inc.; Stormwater Report prepared by Guerriere & Halnon, Inc. dated April 07, 2009 & revised through June 26, 2017; and Traffic Impact Assessment dated July 2007 prepared by Gillon Associates.
4. Winston Woods subdivision is a planned extension of Spring Street terminating in a cul-de-sac to service up to nine (9) house lots (proposed lots 1-8 & parcel A) for two-family dwellings.
5. The subject property consists  $\pm 9.33$  acres located at the end of Spring Street within the Residential Three (R3) Zoning District; the minimum lot area and frontage required when serviced by public

sewer is 20,000 square-feet and 125-feet respectively for two-family dwellings (requires issuance of Special Permit(s) of the Zoning Board).

6. The subject property had a previous approval (2009) from the town (Planning Board) for a similar application, however the approval has since expired, and the town amended its Subdivision Rules & Regulations.
7. Definitive subdivision fee of \$4,700 has been received; with an initial deposit of \$2,250 for Review & Inspection specific to this project.
8. At its meeting of September 12, 2017, the Planning Board voted to engage the services of JH Engineering Group, LLC to perform review on its behalf; copy of the submittal has been provided.
9. Pursuant to Mass General Law, the Planning Board shall act and file its decision with the Town Clerk within 135-days of the submittal; this decision period may be extended by mutual agreement of the Owner/Applicant and Planning Board.
10. Filing with the Northbridge Conservation Commission is required for this project.

#### **B. REVIEWS / REPORTS**

1. Review/Report Forms were distributed to municipal departments August 28, 2017, with a Technical Review meeting held September 06, 2017.
2. Northbridge Safety Committee conducted an initial review at its meeting of September 14, 2017 (meeting minutes attached), continuing same to October 18, 2017.
3. Planning office is in receipt of correspondence (attached) from the Highway Superintendent (September 18, 2017); Conservation Agent (September 06, 2017); Inspector of Buildings (September 18, 2017); Sewer Superintendent (September 26, 2017); Whitinsville Water Company (September 25, 2017); & Northbridge Fire Chief (September 26, 2017).
4. Planning office prepared an initial Definitive Plan Checklist (attached), distributing same to Applicant/Engineer.

#### **C. SUBDIVISION RULES & REGULATIONS**

222-9 Definitive Plan [Amended 3-08-2016]

##### *H. Planning Board action and written decision.*

- (1) *The procedure that the Planning Board will follow with regard to approval, disapproval or modification of the final plan submitted by the applicant will be that as set forth in MGL C. 41, § 81-U, as amended. In summary, the Board, after receiving the definitive plan and profiles, will review the same to determine whether they are in compliance with its adopted rules and regulations and the Zoning Bylaws.*
- (2) *The plan shall comply with all reasonable regulations and rules of the Director of Public Works, Board of Selectmen and the Board of Health not otherwise covered by these rules and regulations. Specific*

*reference is made to the specifications for septic systems, which shall conform to the rules and regulations of the Board of Health.*

- (3) Before final approval of the plan, the applicant shall establish that the lots in the definitive plan are in conformity with the Northbridge Zoning Bylaw and that failure of these lots to so comply will be adequate grounds for disapproval of the definitive plan. See MGL C. 41, § 81-Q, and amendments thereto. The Board may, as a condition of granting approval, impose reasonable requirements designed to promote the health, convenience, safety and general welfare of the community to benefit the town. In such event the Board shall endorse such conditions on the plan to which they relate or set forth a separate instrument attached thereto, to which reference is made on such plan and which shall, for the purpose of the Subdivision Control Law, be deemed to be a part of the plan.*
- (4) The Planning Board may extend the review period permitted by statute between submission of a definitive plan and action thereon upon written request of the applicant.*
- (5) The applicant shall agree to complete the subdivision roadways and install the public utilities in the subdivision within two years after the approval of the plan unless otherwise agreed upon by the applicant and the Planning Board.*
- (6) The action of the Planning Board shall be a majority vote, copies of which shall be certified and filed with the Town Clerk and sent by delivery or registered, return receipt mail to the applicant. If the Board modifies or disapproves such plan, it shall state in its vote the reasons for its action and shall rescind such modification and/or disapproval if the plan is amended to conform to the reasons for said Board action and resubmitted to the Board. Any further action on a plan involving the area or any part thereof shall require a new application in accord with the rules and regulations in force at the time of the new application.*
- (7) Approval of the definitive plan does not constitute the laying out or acceptance by the town of streets within a subdivision.*
- (8) If the Board fails to act upon a plan submitted under this section or fails to notify the Town Clerk and the persons submitting the plan of its action within the required time period (in cases where a preliminary plan was filed, the Board has 90 days to review the plan; in cases where no preliminary plan was filed, the Board has 135 days to review the plan), it shall be deemed to have approval under the Subdivision Control Law, and the Board shall forthwith make such endorsement on said plan, and, in its failure to do so forthwith, the Town Clerk shall issue a certificate to the same effect.*

#### **D. WAIVERS**

1. Reference made to waiver request letter dated August 16, 2017 from Guerriere & Halnon, Inc.
  - a.) 1. -Article IV, Design Standards, Section 222-10, Streets Paragraph F. Street Trees  
Applicant requests to allow planting of two (2) trees per lot to be evenly spaced along the roadway.
  - b.) 2. -Article V, Required Improvements for Approved Subdivisions, Section 222-27, Curbing  
Applicant requests sloped granite curbing in lieu of vertical granite curbing.
  - c.) 3. -Table I, Street Design Standards  
Applicant requests roadway grade of 10 percent a distance of 247-feet, where maximum roadway grade allowed is 7 percent plus up to 2 percent for a distance not to exceed 300-feet.

- d.) 4. -Table II, Standards for Cul-de-sac  
Applicant requests extending length of cul-de-sac to 700-feet, where maximum length is 500-feet unless water system is looped.
  - e.) 5. -Article II, Procedures for Submission and Approval of Plans, Section 222-9 (D)(3) Tree Plan  
Applicant requests waiver to identify trees to be retained with trunks over 6-inches in diameter.
  - f.) 6. -Article IV, Design Standards, Section 222-10, Street, (B)(3) Street Projection  
Applicant requests waiver to provide future projected access to abutting property.
  - g.) 7. -Article IV, Design Standards, Section 222-10, Streets, Paragraph F. Street Tree  
Applicant requests waiver to allow for planting of 2-inch caliper street trees, where minimum of 3-inch is required.
  - h.) 8. -Table I, Street Design Standards  
Applicant requests waiver to not require 5-foot sidewalk along one side of proposed street.
  - i.) 9. -Table I, Street Design Standards  
Applicant request waiver to allow a 40-foot right-of-way width, where 50-feet is required.
  - j.) 10. -Table II, Standards for Cul-de-sac  
Applicant requests waiver to allow pavement width of 24-feet (w/in cul-de-sac), where 37-feet is required.
  - k.) 11. -Table II, Standards for Cul-de-sac  
Applicant requests waiver to allow turnaround diameter of 80-feet (cul-de-sac), where minimum turnaround diameter is 102-feet.
  - l.) 12. -Table II, Standards for Cul-de-sac  
Applicant request waiver to allow landscape island diameter of 32-feet, where landscape island width/diameter is 28-feet.
  - m.) 13. -Table II, Standards for Cul-de-sac  
Applicant request waiver to allow 50-foot radius, where minimum cul-de-sac right-of-way radius is 52-feet.
- 2. It is important for the Planning Board to thoroughly discuss, review and act on waiver requests during one of the early meetings. The Planning Board should solicit input and comment from the various town departments specific to waivers requested.
  - 3. Applicant/Engineer shall be prepared to offer additional information to support waivers requested when reviewed with the Planning Board.
  - 4. All requirements, standards and provisions not explicitly waived by the Planning Board shall comply with the Northbridge Subdivision Rules & Regulations [as amended 03.08.2016].
  - 5. Proposed streetlight locations shall be clearly noted on the plan; to be reviewed/approved by the Safety Committee.

**Please Note:**

Applicant/Engineer responses (October 03, 2018) noted below *in blue italics* with Planning Office comments noted **in red bold & underlined**:

**D. SUBDIVISION REVIEW**

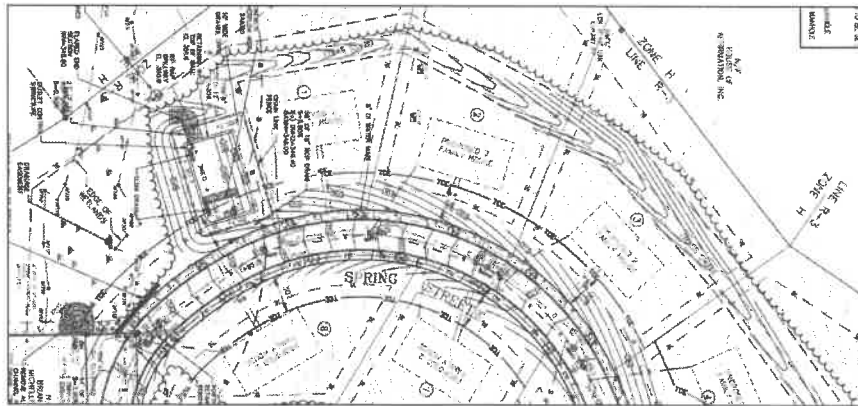
1. Applicant/Engineer shall confirm all copies of easements, covenants and restrictions concerning the subject property have been provided to the Planning Board as part of the definitive subdivision application. *It is believed that these have been provided to the Board.* **Applicant/Engineer shall provide a list of documents submitted.**
2. Applicant/Engineer shall confirm status of all comments noted in the Definitive Plan Checklist. *No response provided.* **Applicant/Engineer shall confirm whether (revised) plan set addresses comments noted in Checklist.**
3. Reference is made to Article IV [Design Standards] & Article V [Required Improvements] of the Subdivision Rules & Regulations [as amended March 08, 2016]. *No response provided;* **Applicant/Engineer shall confirm whether (revised) plan set satisfies new standards & (amended) Subdivision Rules & Regulations.**
4. Pursuant to Section 222-16 [Protection of natural features] –Due regard shall be shown for all natural features, such as large trees, wooded areas, watercourses, scenic points, historic spots and similar community assets, which, if preserved will add attractiveness and value to the subdivision. Outside of street rights-of-way, no trees over 15 feet inches in caliper, measured at four feet above the existing grade, shall be removed or have the grade level surrounding the trunk altered by more than six inches without the approval of the Planning Board after its consultation with the Conservation Commission. Applicant/Engineer shall provide additional information as it relates to this provision. *The Applicant is requesting a waiver from the requirement to locate and identify trees to be retained with trunk over six inches in diameter. All trees located within the disturbed portions of the 100' wetland buffer have been located and shown on plan. All trees within the proposed limit of clearing will be removed as part of the development of the site. The proposed limit of clearing is located to minimize any unnecessary disturbance to natural features.* **Planning Office cautions the Planning Board regarding waiver, as granting waiver may result in 80% (min.) clear-cut of entire subject property; likely not an acceptable practice to protect natural features or the intent of this section of the rules & regulations.**
5. Pursuant to Section 222-20 A [General requirements] -The design of the subdivision shall be such that it preserves the scenic and environmental character of the town. Due regard shall be made to enhance views and preserve wetlands, as well as protect large trees, stonewalls, historic spots and similar community assets, which, if preserved, will add attractiveness and value to the subdivision and town. *The guidelines specified in Section 222-20 A are being followed in the development of this subdivision. The section of existing stone wall to be disturbed during construction of the road will be rebuilt along the right of way to preserve the character of the neighborhood. Wetlands on the property will not be disturbed during construction of this project. The existing portion of Spring Street will be repaved, enhancing the visual and functional value of the area.* **Large trees are not proposed to be preserved; the subject property will be altered significantly for roadway and lot development.**

6. Pursuant to Section 222-20 B [General requirements] -All subdivisions shall be designed to blend harmoniously into and alongside existing neighborhoods. No change shall be made in existing topography, as a result of the proposed subdivision, which adversely affects any land abutting the proposed subdivision. Pervious areas disturbed by construction of the subdivision will be loamed; hydro-seeded and re-vegetated to prevent erosion upon completion of subdivision improvements. *The extension of Spring Street will have no negative impacts on the surrounding property and will match the existing character of Spring Street and the surrounding area.* **Blanket statement provided with no details; amount/depth of cuts proposed to accommodate roadway and house lots appears significant and will likely not blend harmoniously with existing neighborhood.**
7. Pursuant to Section 222-26 [Embankments] -Embankments outside, within or adjoining the right-of-way shall be evenly graded and pitched at a slope of not greater than two horizontal to one vertical infill. Where cuts are made in the ledge, other slopes may be determined with the approval of the Planning Board. Where terrain necessitates greater slopes, retaining walls, terracing, fencing or riprap may be used either alone or in combination to provide safety and freedom from maintenance, but must be done in accordance with plans filed with and approved by the Planning Board. Whenever embankments are built in such a way to require approval by the Planning Board, the developer must furnish to the town duly recorded access easements free of encumbrances for maintenance of the slopes, terraces or retaining walls. All such slopes shall be grassed in accordance with the specifications for the area between the roadway and sidewalk or roadway and boundary of the right-of-way. Applicant/Engineer shall provide additional information where greater slopes may be required. *No slopes greater than three horizontal to one vertical are proposed as part of this project. two retaining walls are proposed with the redesign; the first at the entrance to the development utilizing stone taken from the existing wall and the second is a concrete wall near the underground retention area on lot 1. Details can be found on sheet 10 of the revised plan set.* **Applicant/Engineer shall review proposed embankments within and along right-of-way, noting locations; Applicant/Engineer shall review proposed retaining wall location(s).**

#### **D. PLAN REVIEW**

1. Plan Sheet 2 of 10 -In addition to showing Lot Width (LW) measurement at the proposed front building setback the frontage of each individual lot shall be clearly noted on the plan. *Corrected.* **Applicant/Engineer shall review with Planning Board.**
2. Plan Sheet 2 of 10 -Zoning Table indicates lot requirements for two-family "detached" dwelling with public sewer; was the detached noted in error? *Corrected.* **Applicant/Engineer shall review with Planning Board.**
3. Plan Sheet(s) 2-10 of 10 -Reference to prior/expired Planning Board (Certificate of Approval) and Conservation Commission (Order of Conditions) shall be removed from the plan set; Notes 8 & 9. *Corrected.* **Applicant/Engineer shall review with Planning Board.**
4. Plan Sheet(s) 2 & 3 of 10 -Assessor Map/Parcel information shall be updated accordingly. *Corrected.* **Applicant/Engineer shall review with Planning Board.**
5. Plan Sheet 4 of 10 -Applicant/Engineer shall confirm Existing Conditions Plan provided in this application accurately illustrates conditions of the site at the time of submission. *No response provided by Applicant/Engineer.* **Applicant shall review with Planning Board.**

6. Plan Sheet 5 of 10 -Location of individual driveways and spot elevations of proposed 2-family homes shall be located on the plan. A 30-foot temporary construction easement (TCE) has been delineated along both sides of the roadway. Applicant/Engineer shall provide additional information regarding 30-foot construction easement. *Driveways and dwellings are shown on the plan. the temporary construction easement shall allow the developer to work in that area until street acceptance by the town. Driveway locations & additional off-street parking provisions is difficult to read, if not impossible to see on the (revised) plan; the Planning Office & Planning Board likely know what an easement is, however it is still unclear why a 30-foot temporary easement it for as it relates to this proposal.*
7. Plan Sheet(s) 2, 5 & 8 of 10 -Applicant/Engineer shall provide additional information regarding proposed drainage easement area (grass swale) along back side of Lot(s) 1-4. Applicant/Engineer shall provide additional information on its intended purpose and how the grass swale will impact Pre/Post and how its designed to handle velocity, seasonal water table, etc. The Planning office questions how this undetermined (unknown) amount of potential water can be calculated in any drainage calculation or what impact it may have on the wetland area and private properties down gradient. *Please refer to the submitted drainage report and calculations. Response offered by Applicant/Engineer is not acceptable as it does not provide the Planning Board with any insight or begin to address questions or concerns raised. Applicant/Engineer shall explain to the Planning Board what relationship, if any there is with the proposed grass swale and the subdivision roadway; it appears the grass swale functions completely separate; Question -what is the proposed grass swale easement area for? How does one account for/quantify pre & post-development calculations? -See original comment(s) above.*

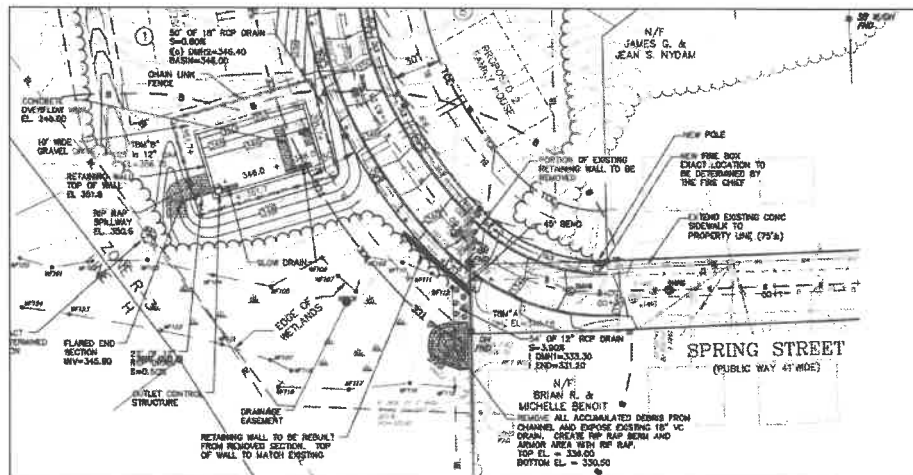


8. Plan Sheet(s) 5 & 7 of 10 -Fire call box is no longer utilized by the Northbridge Fire Department; this requirement was removed as part of the amendments to the Subdivision Rules & Regulations in March 2016. *Corrected. Applicant/Engineer shall review with Planning Board.*
9. Plan Sheet(s) 2, 4, 5, 7 & 8 of 10 -Would removal/alteration of the existing retaining wall at the end of Spring Street require prior approval from the town or others? *The portion being relocated appears to be more decorative than functional. Comments have not been received from other town offices regarding this, so the applicant believes that they have the right to alter the wall without further town permitting. Response offered by the Applicant/Engineer does not adequately address question posed; additional research and a more definitive response shall be provided, including letters from appropriate town officials (municipal departments). Planning Office is also*



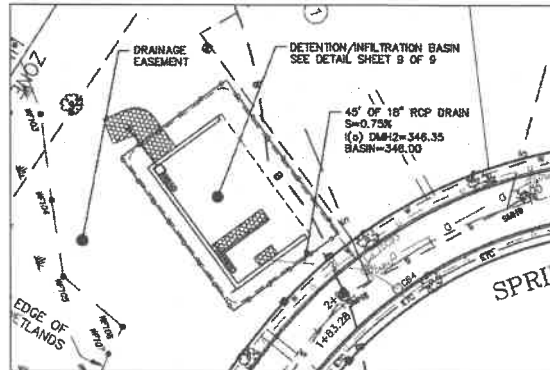
curious to learn how the Applicant/Engineer determined the existing retaining wall to be decorative more than functional.

10. Plan Sheet(s) 5 & 7-9 of 10 -Additional information shall be provided regarding proposed retaining wall. *Details can be found on sheet 10 of the revised plan set.* Is this (proposed) retaining wall “decorative” or is this retaining wall “functional”; additional information shall be provided, including a narrative regarding its purpose, including height (if not a uniform 5 ½ feet as shown on detail), what is it retaining; length of retaining wall, etc.; appears retaining wall would require a building permit and likely a fence or guardrail.
11. Plan Sheet 5 of 10 -Additional information shall be provided regarding planned removal of accumulated debris from channel, exposing existing 18-inch drain and the creation of a rip-rap berm and armor area with rip-rap. *A separate detailed narrative will be provided with the information.* It is unclear if this additional information has been provided; Applicant/Engineer shall review with the Planning Board.



12. Plan Sheet 7 of 10 -Detention/Infiltration Basin notation references detail on sheet 9 of 9; should be 9 of 10. *Corrected.* Applicant/Engineer shall review with Planning Board; additionally, Applicant/Engineer shall review with the Board why the Detention/Infiltration Basin is no longer proposed and an underground Cultec recharge chamber is now proposed; Planning office recommends the Planning Board NOT ACCEPT an infiltration basin for this project (long-term maintenance, etc.).
13. Plan Sheet 5, 7 & 9 of 10 -A chain-linked fence is proposed around the drainage basin. It's not typical to have fencing around basins, however for safety and other reasons it may make sense in this instance; Applicant/Engineer shall review with the Board and provide more detail [Plan View] for proposed maintenance and access to the detention/infiltration basin. Will a curb cut/apron and lockable-gate be provided for the proposed 10-foot wide gravel drive? *Corrected. The detention basin has been redesigned as an underground infiltration system. This eliminates the need for fencing or gravel access roads.* Applicant/Engineer shall review with the Planning Board why the change from a basin to an underground infiltration is now proposed; access to the system would still be required (for maintenance, etc.) fencing or some markings would also be required to visually show location of underground chambers (so nothing is placed on or around system); given the unknowns with the groundwater and surface flows upgradient it's unclear how one would

determine how the infiltration system is functioning (working as designed, at capacity, over capacity, etc.); Planning office recommends the Planning Board NOT ACCEPT an infiltration basin for this project (long-term maintenance, etc.).



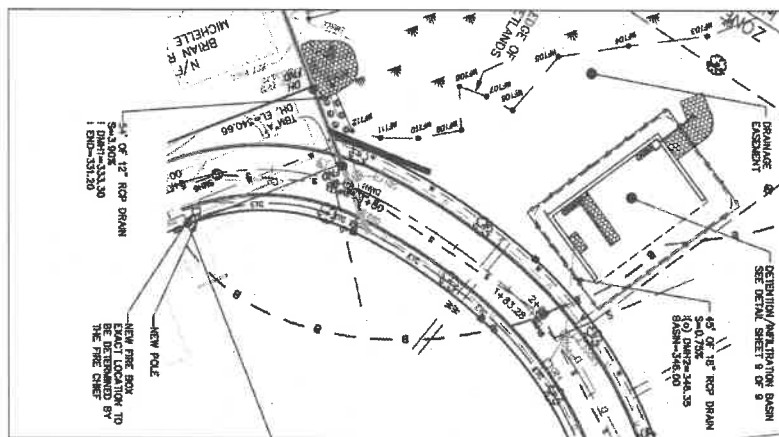
14. Plan Sheet 7 of 10 -Applicant/Engineer shall review the town's Best Development Practices Guidebook to verify that the proposed Red Oak is an appropriate shade tree; same for landscaping proposed within the island cul-de-sac. *The applicant believes that the Red Oak species is appropriate but will defer to the Planning Board if a different species is preferred. A waiver has been requested to eliminate the island.* Applicant/Engineer shall review the town's Best Development Practices Guidebook to verify the (proposed) Red Oak is appropriate based upon site conditions; selection of one tree vs. another has little to do about preference and more about how well a species will thrive and survive; not sure if Red Oak is urban & salt tolerant; Applicant/Engineer shall review guidance document and confirm with the Planning Board.
15. Plan Sheet 9 of 10 -Standard Road Cross Section provided on the Detail Sheet is not consistent with the town's Subdivision Rules & Regulations [as amended March 2016], where proposed street trees are to be located at the edge of (50-foot) right-of-way. Additionally, the detail provided does not show sidewalk and/or streetlight location(s). *Corrected.* Applicant/Engineer shall review with Planning Board.

#### **E. RECOMMENDATION**

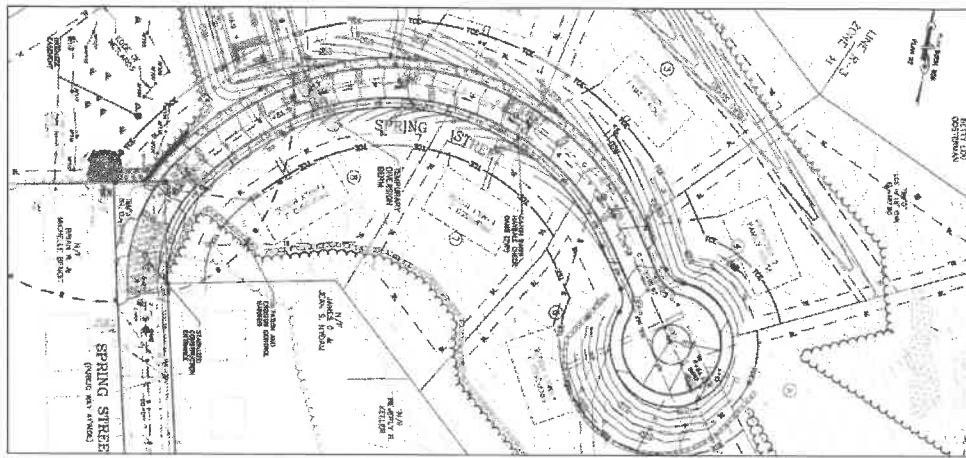
1. The Community Planning & Development Office recommends the Planning Board consider breaking out its review/discussion to specific topics during subsequent meetings. For instance, the Board should consider Waiver Requests early and then look to dedicate future hearing dates on Traffic (safety, off-site improvements, etc.) and Utilities (water/sewer); Stormwater Management and Construction Sequencing (erosion & sediment controls); and Status of Comments received from municipal departments, consulting engineer and the public. The Board may want to dedicate a meeting with its consulting engineer.
2. The Traffic Impact Assessment submitted was prepared in July 2007; the Planning Board shall determine if a new/updated report is required. *A new traffic assessment was performed in December 2017 and is attached.* Planning Board shall review; JH Eng to offer comment.
3. The Safety Committee reviewed the application at its meeting of September 13, 2017, continuing same to October 18, 2017. Committee members expressed concerns with potential on-street parking and accessibility concerns of emergency vehicles. The Committee indicated a desire to

require each lot to provide off-street parking of a minimum of three (3) vehicles. The Owner/Applicant was asked to provide a plan showing driveway locations and off-street parking provisions to be considered as part of the definitive review. *Driveways have been added to the plan. The Plan set (revised) showing driveway locations is difficult to read; it does not appear any off-street parking provisions, as recommended by the Safety Committee have been provided; what is the proposed slope/grade of each driveway (see zoning & other provisions for max allowed).*

4. It appears a portion of the new roadway ( $\pm 225$  linear-feet) will not be captured and directed to the proposed drainage basin; Applicant/Engineer shall provide additional information regarding storm water management for CB1 and CB2, as well as remaining portion of new roadway downgradient of the first series of catch basins (CB1 & CB2). *Please refer to the revised Stormwater and Drainage Reports. Responses simply referring to a study is not helpful to the Planning Board; Applicant/Engineer shall provide a written response addressing concern.*



5. Applicant/Engineer shall provide an illustration depicting locations of roadway grades in excess of 6.5 percent, with the steepest grades (10 percent) highlighted on the plan. *Proposed roadway grades are clearly shown on the plan and profile sheet (sheet 7 of 10). The steepest grade is 8.85%. Applicant/Engineer shall provide supplemental illustration(s) showing roadway grades as requested.*
6. As noted in the Highway Superintendent's report (September 18, 2017); additional catch basins shall be provided along the subdivision roadway due to the proposed grade. *Corrected. Applicant/Engineer shall indicate plan sheet(s) (revised) and review with the Planning Board.*
7. Applicant/Engineer shall review and confirm for the Planning Board that the radius (curve) of the proposed roadway [from approximately Station 0 + 00 to Station 3 + 00] satisfies and is within design standards for the town. Additionally, the Board shall consider the proposed grade (10%) along this distance of the roadway, where during the winter season (snow/ice) vehicle travel may be difficult and potentially create unsafe conditions. *The centerline radius for the first 100'± is 90' before turning into a 300' radius both of which are within town standards. Applicant/Engineer shall clarify this statement and review with the Planning Board; the Planning Office cautions the Planning Board in approving layout/design for reason(s) stated above (tight radius on steep slope/grade).*



8. Given the topography and features of the site, construction sequencing and erosion/sediment controls should be discussed in detail; Applicant/Engineer shall review with the Planning Board preventative measures and safeguards to be implemented to ensure no impacts down-gradient of the subject property occur during and after construction. *Please refer to sheets 8 of 10 and 9 of 10 for erosion control details and notes.* Plan sheet(s) 8 & 9 of 10 do not include construction sequencing; Applicant/Engineer shall provide a supplemental narrative regarding construction sequencing, noting station numbers for each planned phase of construction and devices and techniques to be employed for erosion/sediment control (from initial site prep / land clearing to binder course and finish pavement; plan sheet 8 of 10 indicates a temporary basin will be constructed however does not include sizing, etc.; how will stormwater/sediment controls down-gradient from the temporary basin be managed; construction sequencing & construction management is critical for this project; half-hearted, poorly thought-out and over-simplistic (generic) erosion/sediment control plans will likely not be sufficient for this property; failure to implement a well-thought-out and comprehensive erosion/sediment control plan will negatively impact numerous private property owners down-gradient to the site.
9. Applicant/Engineer shall review with the Whitinsville Water Company any potential water pressure issues for this development or existing services along Spring Street. *Extensive discussions have been held with Whitinsville water and the Northbridge Fire Department regarding this subject. The applicant has paid for a fire flow test as well as water pressure modeling which both seem to indicate that there is adequate flow and pressure for fire suppression. Fire Chief White believes there are other factors involved and has tested fire apparatus on site. Results of these tests are attached.* Applicant/Engineer shall secure letters from the Whitinsville Water Company and Northbridge Fire Department regarding water service within the locus area as it relates to the proposed.
10. The Planning Board may want to conduct a site walk of the subject property; arrangements should be made for the month of October 2017. *G&H has scheduled staking of the centerline and drainage area. This staking should be completed by Tuesday, October 9<sup>th</sup>, weather permitting. Feel free to contact this office if you would like to schedule a site visit with a representative.* Applicant/Engineer shall confirm staking out in the field has been completed; Planning Board may schedule a site visit at its next meeting.
11. Applicant/Engineer shall provide written response to this memorandum, as well as other communications received.

12. The Public Hearing has been continued to **Tuesday, November 14, 2017 (7:05PM -Town Hall)**, voting members will be Brian Massey, James Berkowitz, Harry Berkowitz, and Abdul Kafal. Mark Key shall not be able to vote on this application as Mr. Key was not present for the opening of the public hearing (September 26, 2017).

Cc:	Applicant/Engineer	DPW –Highway Superintendent	DPW Director
	DPW –Sewer Superintendent	Conservation Commission	JH Engineering Group
	Northbridge Fire Chief	Whitinsville Water Co.	/File

~~W/Enclosure(s)~~



TOWN OF NORTHBRIDGE, MASSACHUSETTS  
**COMMUNITY PLANNING & DEVELOPMENT**

R. Gary Bechtholdt II, Town Planner  
7 Main Street Whitinsville, MA 01588  
Phone: (508) 234.2447 Fax: (508) 234.0814  
gbechtholdt@northbridgemass.org

## MEMORANDUM

Date: November 06, 2018 [updated comments]  
October 16, 2017

To: Michael Hassett, Guerriere & Halnon, Inc.

From: R. Gary Bechtholdt II, Town Planner 

RE: **WINSTON WOODS** -Definitive Residential Subdivision

COPY

The Planning office offers the following additional comments as it relates to the definitive subdivision application and public hearing of September 26, 2017.

**Please Note:**

Applicant/Engineer responses (October 03, 2018) noted below *in blue italics* with Planning Office comments noted **in red bold & underlined**:

1. Applicant/Engineer shall coordinate with the Town (DPW, Conservation Commission, etc.) to conduct a series of dye-testing, etc. to determine where the surface/groundwater goes from the headwall at the end of Spring Street. Prior to removing any clog or backup at the headwall the Applicant/Engineer shall review and fully understand the hydrology of the site and function of the headwall and drainage system.

*The stormwater system was modeled with the culvert as its end point with regards to maintaining peak flows and volumes. The system as designed maintains flows into the existing culvert. As the design does not change current conditions it is unclear as to the purpose of determining where the runoff goes once it enters the culvert.*  
**Applicant/Engineer shall coordinate with the Town (DPW, Conservation Commission, etc.) to determine where the surface/groundwater goes from the headwall at the end of Spring Street. The Planning Office feels this information is important and needed in order for the Planning Board to review the project proposal; Planning Office recommends denial of the application absent evidence to support Applicant/Engineer claim(s); a 30-foot wide drainage easement is proposed to run along the back sides of Lots 1-4; no information has been provided to quantify volume, velocity, etc.; this surface/groundwater, in addition to the roadway stormwater, will be directed & concentrated at the existing culvert; the Planning Office suggests this unknown is a main concern that must be better understood before moving this project along.**

2. To properly size and evaluate municipal sewer capacity, the total number of bedrooms proposed within the subdivision needs to be identified as part of the definitive review. Applicant/Engineer shall confirm for the Planning Board, status of the Sewer Extension Permit, if so required.

*No comment provided.* **Applicant/Engineer shall review with Planning Board and secure a letter from the Sewer Superintendent specific to this project, indicating what offsite improvements, if any would be required.**

3. Applicant/Engineer shall provide the Planning Board with an updated Existing Conditions Plan illustrating and noting site alterations since the 2009 definitive approval.

*No additional information offered.* Applicant/Engineer shall provide the Board with an updated Existing Conditions plan as requested.

4. Applicant/Engineer shall provide the Planning Board with a (proposed) construction sequence plan detailing sediment and erosion control measures from Spring Street throughout the subdivision; at a minimum of 25-foot intervals.

*Please refer to sheets 8 of 10 and 9 of 10 for erosion control details and notes. Plan sheet(s) 8 & 9 of 10 do not include construction sequencing; Applicant/Engineer shall provide a supplemental narrative regarding construction sequencing, noting station numbers (25-foot intervals) for each planned phase of construction, noting devices and techniques to be employed for erosion/sediment control (from initial site prep / land clearing to binder course and finish pavement; plan sheet 8 of 10 indicates a temporary basin will be constructed however does not include sizing, etc.; how will stormwater/sediment controls down-gradient from the temporary basin be managed; construction sequencing & construction management is critical for this project; half-hearted, poorly thought-out and over-simplistic (generic) erosion/sediment control plans will likely not be sufficient for this property; failure to implement a well-thought out and comprehensive erosion/sediment control plan will negatively impact numerous private property owners down-gradient of the site.*

5. Applicant/Engineer shall confirm estimated traffic impacts (peak-AM, peak-PM commutes, etc.); Planning Board shall determine if a new/updated Traffic Impact Study is warranted.

*A new traffic assessment was performed in December of 2017 and is attached. Planning Board shall review; JH ENG shall provide comment.*

6. Applicant/Engineer shall provide additional information on Cut & Fill amounts/locations within the roadway and outside the right-of-way.

*These calculations are attached. Applicant/Engineer shall review Cut/Fill Report with the Planning Board.*

7. Applicant/Engineer shall verify status of Conservation Commission filing.

*A Notice of Intent has been filed with the Northbridge Conservation Commission with the public hearing scheduled for October 3<sup>rd</sup>, 2018. Applicant/Engineer shall update the Planning Board on the status of the Commission's review.*

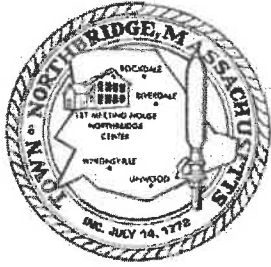
8. Arrangements have been made for the Planning Board to visit the site on Saturday, October 21, 2107 (8:00 AM); JH Engineering Group, the Board's consultant may also attend.

*G&H has scheduled staking of the centerline and drainage area. This staking should be completed by Tuesday, October 9<sup>th</sup>, weather permitting. Feel free to contact this office if you would like to schedule a site visit with a representative.*

Cc: DPW Director  
JH Engineering Group

DPW –Sewer Superintendent  
Planning Board

Conservation Commission  
/File



**DAVID M. WHITE  
FIRE CHIEF**

**TOWN OF NORTHBRIDGE  
FIRE DEPARTMENT  
193 MAIN STREET  
WHITINSVILLE, MASSACHUSETTS 01588  
Phone: (508) 234-8448**

Northbridge Planning Board  
14 Hill Street  
Whitinsville, MA 01588  
Attn. Gary Bechtholdt

Hi Gary,

As per our tech review meeting this morning, I would like to see the water line upgraded to an 8" line on Spring Street back to the 10" line on Cottage Street. This would keep the water volume consistent from Cottage St all the way through to the end in the new project instead of going from the existing 6" cast iron line that is very old on Spring Street now to a new 8" line proposed in the project.

David M White  
Fire Chief  
Northbridge Fire Department  
193 Main Street  
Whitinsville, MA 01588  
508-234-8448

**"SMOKE DETECTORS SAVE LIVES"**





Mark F. Kuras  
Superintendent

# Town of Northbridge

## Department of Public Works

Sewer Division, Town Hall, 7 Main Street

Whitinsville, Massachusetts 01588

Phone: 508-234-2154

Fax: 508-234-0809

Wastewater Treatment Plant located at 644 Providence Road

DATE: 11-6-18  
TO: PLANNING BOARD  
SUBJECT: WINSTON WOODS

Planning Board:

I am in favor of replacing the existing 6" V.C. Sewer pipe on Spring st. and replacing it with new 8" PVC Sewer pipe. Along with the installation of the 6" PVC underdrain.

I am requiring that the proposed 10% pipe slope be reduced to not more than 5% for the new pipe installation. Inside drops will be required.

Air testing for all of the new pipe is required.

Vacuum testing all of the manholes is required

Thanks,

Mark Kuras  
Town of Northbridge  
WWTP Superintendent

November 17, 2018

R. Gary Bechtholdt II, Town Planner  
Town of Northbridge  
Community Planning & Development  
7 Main Street  
Whitinsville, MA 01588

**Subject: Winston Woods  
Spring Street  
Definitive Subdivision "Peer Review"**

**JHEG Job #: C0034-31**

Dear Mr. Bechtholdt:

We are in receipt of the following:

1. Plan entitled "Winston Woods" Definitive Residential Subdivision prepared by Guerriere & Halnon, Inc., dated August 16, 2017, latest revision date August 28, 2018.
2. Document entitled "Stormwater Report, Winston Woods", dated April 7, 2009, latest revision date August 28, 2018 and prepared by Guerriere & Halnon, Inc.
3. E-mail dated October 3, 2018 from Ron Tubman, Guerriere & Halnon, Inc. with several attachments including a cover letter dated October 3, 2018 from Ronald N. Tubman, PLS Guerriere & Halnon, Inc. to the Town of Northbridge Planning Board, several response letters, and an updated Document entitled "Traffic Impact Assessment for Spring Street Housing", dated December 2017, and prepared by Gillon Associates Co.
4. Response letter dated October 22, 2018 from Ronald N. Tubman, PLS; Guerriere & Halnon, Inc. to the Town of Northbridge Planning Board.

JH Engineering Group, LLC has been requested to provide a "Peer Review" of the Definitive Residential Subdivision submittal to the Northbridge Planning Board and the Notice of Intent Filing with the Northbridge Conservation Commission. The reviews are based upon Chapter 173 – Zoning, Town of Northbridge, Massachusetts, Town of Northbridge Chapter 222 – Subdivision Rules & Regulations, Town of Northbridge Wetlands Protection Bylaw, and general engineering practice. The following comments are in response to our October 26, 2017 letter. Our original comments from the October 26<sup>th</sup> letters is in *italics* with our response to the latest submittal information provided in **bold**. The original numbering system from the October 26<sup>th</sup> letter has been maintained.

**Our comments are as follows:**

1. *The Traffic Impact Assessment is ten years old and should be updated to include more up to date information specifically Crash Assessments, current traffic volumes at the Street/Cottage Street intersection, existing traffic volumes, and proposed background traffic growth.*  
**Acknowledged. Updated Traffic Impact Assessment has been provided. Though the data shows an increase in traffic volumes and crash statistics between 2007 and 2017, the Level of Service remains an 'A' or 'B' (little to no delay) and stopping site distances are adequate.**
2. *In the "Narrative" dated August 16, 2017 submitted with the Application, there is a reference to Northeast Main Street in paragraph 2 as the access road for all traffic. We assume that this reference is copied from another project. The Narrative reference should be revised.*  
**Acknowledged. The Narrative has been revised.**
3. *During the October 21<sup>st</sup> site visit, the 18" VC drainage pipe located at the retaining wall was blocked. The location of the drainage pipe location (where does the pipe discharge?), condition of the pipe, and the ownership of the pipe should be determined.*  
**We acknowledge the drainage calculations does not change the peak discharge and in fact decreases the peak discharge. However, the public discharge (assuming the road is Accepted by Town Meeting) from the drainage system to an unknown drainage pipe could potentially lead to a future liability to the Town.**
4. *During the October 21<sup>st</sup> site visit, the stone culvert located west of the 18" VC pipe appears to be an overflow pipe. The pipe appears to go under the garage or house of Lands of Benoit. Where does this pipe discharge, what is the integrity of the pipe, and who is ownership of the pipe?*  
**We acknowledge the drainage calculations does not change the peak discharge and in fact decreases the peak discharge. However, the public discharge (assuming the road is Accepted by Town Meeting) from the drainage system to an unknown drainage pipe could potentially lead to a future liability to the Town.**
5. *Since the Town will take ownership of the proposed drainage system once the Spring Street Extension is accepted by Town Meeting, It would assume that the downstream drainage system identified in Comments #3 and #4 above would then become ownership of the Town if they are not already so. Therefore, required easements would be necessary through any private property for the long-term maintenance of the drain lines.*  
**We acknowledge the drainage calculations does not change the peak discharge and in fact decreases the peak discharge. However, the public discharge (assuming the road is Accepted by Town Meeting) from the drainage system to an unknown drainage pipe could potentially lead to a future liability to the Town.**
6. *The deep hole data provided on Sheet 9 for DTH#2 states Redox at 60", but mottles at 48". Which is correct?*  
**Acknowledged. Deep hole data has been revised.**
7. *The proposed bottom of the infiltration basin is 346.00. Assuming the estimated seasonal high groundwater is 60" below grade (DTH#2), the water table is at elevation 344.93. Per MA DEP*

*Stormwater Guidelines, a minimum of 2 feet separation is required between the bottom of the infiltration facility and the groundwater table.*

**The infiltration facility as currently designed has been changed to an underground infiltration basin with a bottom elevation remaining at 346.00. Therefore, the minimum 2-foot separation has not been achieved. In addition, see Additional Comment #27 below.**

8. *A diversion swale is proposed on the northside of Lots #1-4. There is also a proposed easement shown. It is our recommendation that the easement not be accepted by the Town as future maintenance of the swale will become problematic and difficult to maintain. The easement should be a private easement between the homeowners of Lots #1-4.*

**The response letter provided no comment on this item. Therefore, no further comment necessary.**

9. *The pre- and post-development drainage areas should include all the off-site drainage that runs thru the site especially the area that is being diverted to the grass swale.*

**Acknowledged. Per the response letter and the submitted Pre- and Post-Development Plans the off-site contributing areas have been shown.**

10. *Provide calculations on the grass swale to assure the velocity of runoff will not adversely affect the swale bottom.*

**Acknowledged. Computations for the grass swale have been provided.**

11. *A stormceptor detail is provided on Sheet 10 and is included in the Stormwater Report but we could not find the location on the plan where the stormceptor is to be installed.*

**Per the response letter, DMH #1 will be labelled as the stormceptor on future plan revisions.**

12. *We recommend sub-drains be provided on the new road (both sides) from approximately Sta. 2+00 to Sta. 6+00 due to the cuts in the road and the shallowness of the estimated seasonal groundwater table.*

**It appears that sub-drains have been provided and identified with a line type 'u' in the plan view. The plans should label the sub-drain line.**

13. *Provide a pre- and post- development drainage plan.*

**Acknowledged. Pre- and post-development drainage plans have been provided.**

14. *There is a detail of gravel access drive, but the location is not provided on the plan.*

**Acknowledged. The detail has been removed.**

15. *As discussed at the October 21st site walk, a sidewalk will be proposed on the south side of the road and connect to the existing sidewalk located in front of lands of Nydam. Provide the sidewalk location on the plan, detail.*

**Per the response letter, the sidewalk location has been provided. However, will be**

16. *Provide cascade grates on the catch basins per Section 222-11.C.*

**Per the response letter, the detail will be provided on future plan revisions.**

17. *The proposed detention basin retaining wall is over 4 feet tall, therefore a building permit is required.*

**Acknowledged.** The detention basin retaining wall has been eliminated.

18. *The drain pipes between DMH-2 to DMH-5 have velocities that exceed 10 ft/sec. We recommend that the pipes be designed to where the maximum velocity is 10 ft/sec.*

**Per the Design Computations for Storm Drains the Peak Flow, the peak flow velocities for the span DMH-4 to DMH-3 is 13.50 fps and the span from DMH-3 to DMH-2 is 13.86 fps. We recommend the drainage system be designed where the maximum peak velocity is 10 fps.**

19. *Where will the proposed mailbox (es) be placed? One common mailbox at the beginning of the subdivision or individual boxes in front of each of the dwellings. If there is a common mailbox, provide the location and adequate parking area for the mail truck and residences picking up their mail.*

**Acknowledged.** Per the response letter, the mailboxes will be located at the individual driveways.

20. *The notes and detail for the infiltration basin such that the basin is not used for sediment and erosion control during construction or adequate means to reconstruct the basin for adequate infiltration upon completion.*

**Acknowledged.** The proposed underground infiltration basin is not being used for sediment & erosion control during construction. A separate (in the same location) temporary sediment basin is being employed.

21. *There is grading along the roadway in front of Lands of Benoit that appears to disturb the existing sidewalks and driveway. How are the sidewalks to be reconstructed along with driveway?*

**Per the response letter, the Benoit driveway and sidewalk will be extended to the new pavement. We recommend a note to define the proposed work (could be shown on the Proposed Discharge Detail on Sheet 5 of 10) such as surface material for the sidewalk, width, etc. so there is no misunderstanding between the Benois and the subdivision contractor.**

22. *Provide proposed elevations of on the retaining wall that is being relocated and on the detention basin wall.*

**Acknowledged.** Elevations of the top and bottom of the proposed walls have been added to the plan.

23. *The detail on Sheet 10 for the Outlet Control Structure shows a 6" slow drain cap with 1" orifice, but the Stormwater Report does not model for the 1" orifice.*

**Acknowledged.** Per the current design the outlet control structure is no longer proposed, however see Additional Comment #27 below.

24. *Per Section 222-30, a 4-foot-wide planting strip is required between the curbing and the sidewalk.*

**Acknowledged.** The planting strip is provided and shown in the Standard Road Cross Section detail on Sheet 9.

25. *Provide details for the granite curb installation for driveway entrances both with and without sidewalks.*

**Per the response letter, the detail will be provided on future plan revisions.**

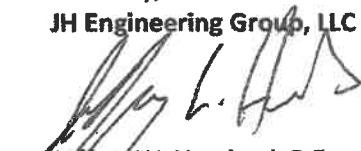
**Additional Comments:**

26. The elevation of the road in front of Lot #3 is 370 and the elevation of the swale about 110 feet away is about twenty feet higher. We recommend that a typical cross-section be provided to show how the proposed lot could be graded.

27. The proposed stormwater facility has been changed from an open infiltration basin to an underground infiltration basin utilizing Cultech chambers. It is our recommendation that underground facilities not be used as long-term maintenance by the Town will be difficult and problematic. If the basin fails excavation of 10 or more feet will be required 15 feet from the proposed dwelling. In addition, realistically, the maintenance of an underground facility by the Town will not routinely take place with the limited manpower, funds, experience, and knowledge could potentially result in a faster failure rate of the facility. Typically, when an underground facility fails, it is catastrophic and requires complete replacement of the facility.

If you have any questions or comments concerning this matter, please feel free to contact our office.

Sincerely,  
JH Engineering Group, LLC



Jeffrey W. Howland, P.E.  
President

cc: Northbridge Conservation Commission

November 9, 2018

R. Gary Bechtholdt II, Town Planner  
Town of Northbridge  
Community Planning & Development  
7 Main Street  
Whitinsville, MA 01588

**Subject: Syncarpha Northbridge I Community Solar Project  
Church Street - Northbridge  
Site Plan "Peer Review"**

**JHEG Job #: C0034-32**

Dear Mr. Bechtholdt:

We are in receipt of the following:

1. Letter dated October 23, 2018 to David Pickart, Northbridge Conservation Agent entitled Syncarpha Northbridge I Community Solar Project, Church Street, Northbridge, MA, Request to Amend Order of Conditions, prepared by Devin P. Howe, EIT., Project Manager Beals Associates, Inc..
2. Plan entitled "Plans to Accompany Permit Documents for Wetland Resource and Buffer Restoration Project, Church Street and Providence Road, Northbridge, Massachusetts" prepared by Beals Associates, dated April 30, 2018, latest revision date of August 22, 2018 (Sheets C3.0, - C3.5 only).

JH Engineering Group, LLC has been requested to provide a "Peer Review" of Site Plan submittal to the Northbridge Planning Board and the Notice of Intent Filing with the Northbridge Conservation Commission. The reviews are based upon Chapter 173 – Zoning, Town of Northbridge, Massachusetts, Town of Northbridge Chapter 222 – Subdivision Rules & Regulations, Town of Northbridge Wetlands Protection Bylaw, and general engineering practice.

**Our comments are as follows:**

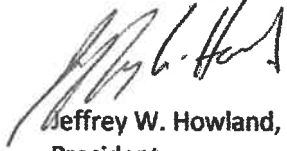
1. We compared the previously submitted plans (latest revision date August 10, 2018) with the new set and found the proposed tree clearing limits appear to be generally in the same vicinity assumed tree clearing limits (though a tree clearing limit line was not previously provided).
2. The Applicant should verify if the assumptions used for woods versus meadow in the Stormwater Management Report for each of the effected drainage areas remains the same.

Though the tree stumps will remain, we would assume the area would become meadow versus woods. If the land cover is different provide a summary of the changes and if necessary modify the calculations.

3. All previous outstanding comments from our October 23, 2018 letter should remain.

If you have any questions or comments concerning this matter, please feel free to contact our office.

Sincerely,  
JH Engineering Group, LLC



Jeffrey W. Howland, P.E.  
President

Cc: David Pickart, via e-mail





## NORTHBRIDGE SAFETY COMMITTEE

James Shuris, Chairman/Director of Public Works  
7 Main Street, Whitinsville, MA 01588  
(508) 234-3581 jshuris@northbridgemass.org

November 09, 2018

Northbridge Board of Selectmen  
Northbridge Memorial Town Hall  
7 Main Street, Whitinsville MA 01588

DRAFT

### PLANNED BUSINESS DEVELOPMENT -MAIN STREET

Eric Bazzett, Allen Engineering & Associates, Inc.

### WINSTON WOODS (SPRING STREET) DEFINITIVE SUBDIVISION APPLICATION

Ronald Tubman, Guerriere & Halnon, Inc.

### SENIOR LIVING DEVELOPMENT (Pre-Submittal) -CHURCH STREET

Stephen O'Connell, Andrews Survey & Engineering, Inc.

### COMPLETE STREETS POLICY (Draft)

James Shuris, P.E., MBA, Director of Public Works

Dear Board of Selectmen:

The Northbridge Safety Committee met **THURSDAY, NOVEMBER 08, 2018** in the Police Station Conference Room (1 Hope Street). The following members were present: Chairman James Shuris, Fire Chief David White, Chief of Police Walter Warchol, R. Gary Bechtholdt II, George Murray, Peter Bedigian, and Richard Maglione. Jamie Luchini (Alternate) was also present.

The following members of the public were in attendance: Eric Bazzett, Edward Renaud, Ron Tubman, Travis Brown, and Brian Fitzgerald

### CALL MEETING TO ORDER

Chairman Shuris called the meeting to order at 10:00 AM.

### I. APPROVAL OF MEETING MINUTES

*Upon motion duly made (D. White) and seconded (P. Bedigian) the Safety Committee voted (6-0-1 [Warchol abstained] to ACCEPT the meeting minutes of September 19, 2018*

### II. CORRESPONDENCE

Chairman Shuris informed the Safety Committee that he spoke with a resident, Ray Sotek regarding a traffic accident that happen recently where his car was clipped by another vehicle at the intersection of Alston Avenue and Rt 122 (Providence Road). Mr. Shuris explained that Mr. Sotek requests that an intersection warning sign be installed on Elston Avenue at the approach of Route 122 citing safety concerns. Committee

members noted this matter was not included on the agenda however did not have objection if the DPW Director believed such signage would address a safety concern.

### **III. PLANNED BUSINESS DEVELOPMENT -MAIN STREET**

Eric Bazzett, Allen Engineering & Associates, Inc.

Eric Bazzett, PE of Allen Engineering & Associates, Inc. on behalf of the Owner/Applicant reviewed the (revised) site development plan layout prepared to address comments received previously by the Safety Committee.

Mr. Bazzett reviewed the revised curbcut which now includes a dedicated entrance and exit separated by a landscape island; a continuation of the existing sidewalk through the property frontage along Main Street; location for snow storage; and improved access around the building to the rear of the property.

Mr. Bechtholdt asked if an easement area would be provided to the town for snow storage to accommodate plowing of Water Street. Mr. Bazzett agreed to dedicate a snow storage area towards the back of the property near Water Street where DPW may stockpile snow if needed.

Mr. Bazzett confirmed for Mr. Murray and Chief Warchol that Water Street would remain open to the public and not restricted for vehicle traffic.

Chief White indicated the Fire Department is satisfied with the improved access around the building to the rear of the property where a 10-foot wide leveling area will be provided.

Mr. Bazzett confirmed for Mr. Luchini that a barrel of de-icing material will be maintained onsite during the winter months to address icing concerns. Chief Warchol expressed concerns with potential icing on Main Street, like Linwood Avenue at another carwash facility.

Mr. Bazzett reviewed for Chief Warchol planned exterior lighting locations. Mr. Bazzett confirmed for Mr. Bedigian that the carwash would be staffed during operational hours of the auto-service station, noting however the carwash may be open 24/7.

Mr. Bazzett reviewed the location of the existing utility pole on Main Street, noting with the new layout/design of the curbcut the pole location will not conflict with the entrance/exit.

Chairman Shuris thanked Mr. Bazzett for addressing prior comments including extending the sidewalk.

*Upon motion duly made (P. Bedigian) and seconded (G. Murray) the Safety Committee voted 7-0 to recommend acceptance of the site development plan.*

### **IV. WINSTON WOODS (SPRING STREET) DEFINITIVE SUBDIVISION APPLICATION**

Ronald Tubman, Guerriere & Halnon, Inc.

Ronald Tubman, Guerriere & Halnon, Inc. on behalf of the Owner/Applicant (Brian Fitzgerald) reviewed with the Safety Committee revisions made to the plan.

Mr. Tubman reviewed grade of the proposed subdivision roadway; Mr. Tubman explained to the Committee that the grade of the roadway (max. 8.85%) satisfies town's standards, where up to 9% is allowed. Mr. Bechtholdt noted that he believed the Subdivision Rules & Regulations allowed for 7% and may allow for an addition 2% for a maximum distance. Mr. Tubman indicated the plan meets this provision. Mr. Bechtholdt asked Mr. Tubman to review location/distances where the 8.85% grade was proposed. Mr. Bechtholdt reiterated prior concerns where the steeper slope (8.85%) was also the same location as the tighter curve of the roadway. Mr. Bechtholdt expressed safety concerns during the winter months, suggesting vehicles may have a difficult time traveling up/down the roadway along the curved section of the road.

Mr. Tubman reviewed location of catchbasins for Mr. Murray, who expressed concerns with large rain events and the proposed slope of the roadway. Mr. Bechtholdt asked if double-catchbasins were proposed; Mr. Luchini recommended a series of double-catchbasins be installed at the bottom of the slope to help capture stormwater. Mr. Tubman noted they would install cascade grates on the catchbasins.

Mr. Bechtholdt inquired about the location of streetlights; Mr. Tubman will review the town's Streetlight Policy regarding placement and quantity and will revise the plan set accordingly.

Mr. Bechtholdt reminded Mr. Tubman that the Safety Committee during earlier reviews (September 15 & October 18, 2017) noted concerns about steep driveways, the need for additional off-street parking to accommodate more than two (2) per unit; snow storage areas; and handicapped accessible for a community mailbox.

Mr. Fitzgerald indicated house plans have not been finalized for the individual lots. Mr. Tubman suggested plans will be prepared to accommodate concerns. Chief Warchol noted on-street parking will not be permitted.

Mr. Murray inquired about sidewalk improvements along the existing portion of Spring Street, noting it was his understanding that Northbridge School buses pick-up/drop-off at the Cottage Street intersection. Mr. Tubman acknowledged concerns with students walking back and forth to the bus stop and noted sidewalk has been included and will be improved through to the subdivision.

Mr. Tubman reviewed proposed fire hydrant locations with Chief White. Chief White inquired about water service for fire protection, acknowledging concerns will be raised during the Technical Review scheduled for next week.

Having no additional comment Chairman Shuris sought a motion to accept the revised plan.

*Upon motion duly made (G. Murray) and seconded (D. White) the Safety Committee voted (6-1 [Bechtholdt]) to accept the proposed definitive subdivision plan subject to Planning Board review and an opportunity for the Safety Committee to review final plans, showing streetlights, driveways and off-street parking accommodations.*

In voting in opposition, Mr. Bechtholdt noted he is still concerned with the roadway slope/grade given the curve of the road; Mr. Bechtholdt feels design will result in a real safety concern during winter months.

**V. SENIOR LIVING DEVELOPMENT (Pre-Submittal) -CHURCH STREET**

Travis Brown, Andrews Survey & Engineering, Inc.

Travis Brown, Andrews Survey & Engineering, Inc. and Edward Renaud (Owner/Applicant) reviewed revised conceptual plan for a proposed 120-unit Senior Living Development off Church Street.

Mr. Brown explained the boulevard proposed along the entry drive has been reduced to just the entrance way, based upon previous concerns received by Safety Committee members. Mr. Brown also mentioned that the large island cul-de-sacs have also been removed.

Mr. Brown reviewed the driveway widths for Chief White; who indicated he was agreeable to the proposed access/egress along Church Street as revised. Mr. Brown noted off-street parking provisions will also be provided and shown on final plans.

Mr. Murray expressed concerns with the boulevard still planned for the entrance/exit on Church Street; noting he is willing to allow for single-access (one-way in/one-way out) but wants to make sure that access/egress point is as wide as possible and does not want a boulevard that may block or impeded traffic in the event of an emergency. Chief Warchol agreed, noting he too does not like boulevards.

Mr. Renaud suggested a desire to have a small landscaped boulevard at the entrance which would include the name of the development. Mr. Murray indicated he would prefer no boulevard, however if the boulevard is reduced (in width) and the entrance/exit driveway was increased (two 24-foot lanes); the wider the better, he would support the project. Mr. Murray stated he is concerned if cars are parked along the driveway there may be a bottleneck in cases of emergency.

Committee members went back and forth on what they felt the width of the driveway should be. Mr. Bechtholdt advised members the plan is only conceptual and that the Safety Committee would have an opportunity to review the design/layout again once a formal application is submitted. Mr. Bechtholdt suggested the Applicant/Engineer prepare detail(s) specific to the driveway (proposed curbcut on Church Street) as part of its formal submittal.

Mr. Bechtholdt reminded Safety Committee members the purpose of this review (pre-submittal) was to provide the Applicant/Engineer with initial comments and feedback on the conceptual layout before design plans are prepared; Mr. Bedigian agreed.

*Upon motion duly made (G. Murray) and seconded (P. Bedigian) the Safety Committee voted (8-0) to accept the layout of the planned Senior Living Development with single-access (access/egress) along Church Street.*

In taking such action the Safety Committee will review final plans of the entrance/exit as part of its formal review of site development submittal.

**VI. COMPLETE STREETS POLICY (Draft)**

James Shuris, P.E., MBA, Director of Public Works

Mr. Shuris provided Committee members with copy of memorandum dated April 02, 2018 which included a DRAFT policy on Complete Streets. Mr. Shuris asked Committee members to readthrough the document and will look to include this matter on a future agenda for recommendation to the Board of Selectmen.

Mr. Shuris briefly reviewed process of approval (adoption by town) and the benefits in participating in the State's Complete Streets Program. Mr. Bechtholdt suggested Linwood Avenue could be a good candidate for this; Mr. Bedigian and Mr. Murray agreed.

*Upon motion duly made (W. Warchol) and seconded (G. Murray) the Safety Committee voted (8-0) to move forward with the Complete Streets program and will include on its next scheduled agenda.*

## **VII. OLD/NEW BUSINESS**

Chief Warchol mentioned he recently saw some flashing LED stop signs being used in another community and thought utilizing same in locations throughout town would help increase visibility for drivers. Mr. Luchini stated he too has seen them used, noting they are solar-powered and may be a good idea for certain intersections in town. Committee members suggested DPW prepare a listing of potential locations which can be reviewed at the next scheduled meeting.

## **VIII. Status of Action: September 19, 2018 Safety Committee**

Jamie Luchini, Highway Superintendent indicated there was no town action required based upon discussions held September 19, 2018.

Chairman Shuris will contact Committee members before scheduling the next Safety Committee meeting.

## **IX. ADJOURNMENT**

Having no additional business, the Safety Committee adjourned its meeting of Thursday, November 08, 2018 at or about 11:10 AM.

Respectfully yours,

James Shuris, Director of Public Works  
**CHAIRMAN, NORTHBRIDGE SAFETY COMMITTEE**

/rgb

Cc: Northbridge Town Clerk  
Lt. Timothy Labrie  
/File

Northbridge Town Manager  
Eric Bazzett (Allen Assoc. Inc.)

Travis Brown/Stephen O'Connell (ASE)  
Ronald Tubman (G&H)



RECEIVED  
18 NOV 14 PM 12:12

NORTHBRIDGE TOWN CLERK  
DANIEL PUCCIO

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## **NORTHBRIDGE PLANNING BOARD**

### **-PUBLIC MEETING NOTICE-**

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In accordance with the provisions of MGL and Section 173-49.1 Site Plan Review by Planning Board and Article XX Large Scale Solar Photovoltaic Installations of the Northbridge Zoning Bylaw, the Northbridge Planning Board shall hold a public meeting on **Tuesday, November 27, 2018 (7:45PM)** in the Selectmen's Room, Northbridge Memorial Town Hall, 7 Main Street, Whitinsville, MA 01588 to consider the Modification to the Site Plan Review of Syncarpha Northbridge I and Syncarpha Northbridge II for the construction of a large-scale ground mounted photovoltaic solar electrical generating facility. The subject property(s) are located off Church Street & Providence Road and is identified as Map 14, Parcel(s) 15 & 22.

The Modification(s) Site Plan Application(s) dated October 23, 2018, plans entitled "Plans to Accompany Permit Documents for Syncarpha Northbridge I Community Solar Project Church Street" and "Plans to Accompany Permit Documents for Syncarpha Northbridge II Community Solar Project Providence Road" prepared by Beals Associates dated April 30, 2018 with a revised date of October 22, 2018 and accompanying documentation is on file with the Office of the Town Clerk (7 Main Street -Town Hall) and Community Planning & Development Office (14 Hill Street -Town Hall Annex) and may be reviewed during normal office hours.

The purpose of this meeting is to provide an opportunity for public comment; any person interested or wishing to be heard should appear at the time and place designated.

Brian Massey, Chairman  
Northbridge Planning Board

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Cc:	Town Clerk Building Department DPW Sewer Superintendent Uxbridge Planning Board Mr. Daniel Puccio	Town Manager/ BOS Conservation Commission Whitinsville Water Company Mendon Planning Board Certified Abutters	Applicant/Engineer DPW Highway Superintendent Grafton Planning Board Sutton Planning Board	Board of Health DPW Director of Public Works Upton Planning Board Planning Board / File
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## TOWN OF NORTHBRIDGE PLANNING BOARD

## APPLICATION FOR SITE PLAN REVIEW

NORTHBRIDGE MEMORIAL TOWN HALL - 7 MAIN STREET - WHITINSVILLE, MA 01588  
PHONE (508) 234-2447 - FAX (508) 234-0814

Date: 10/23/2018

Applicant: Keith Akers, Syncarpha Northbridge I LLC

Address: 250 W 57th Street, Suite 701, New York, NY 10107

Contact information: mailing address / phone #: 212.419.4840 keith.akers@syncarpha.com

Owner: Leonard Jolles, Whitinsville Redevelopment Trust

Address: One Main Street, Whitinsville, MA 01588

Contact information: mailing address / phone #: len.jolles@wrtmanagement.com

## To the Planning Board of the Town of Northbridge

The undersigned, being the applicant for approval of a site plan review shown on a plan entitled: Northbridge I Community Solar Project designed by Beals Associates, Inc., dated Oct. 22, 2018 and described as follows:A plan showing A limit of clearing line depicting areas beyond the permitted limits to maximize production and efficiency of the large scale ground mounted photovoltaic solar facility.Location (Street address): Church StreetAssessor Plat Info: Map 14 Parcel(s) 15Zoning District: Industrial One (I-1)Total acreage of tract: 95.25Proposed Use: Solar FacilityTotal square footage of gross floor area proposed: 0

Project is a new structure or group of structures:

Yes ☒ No ☐

Project is an improvement, alteration, or addition to existing structures:

Yes ☐ No ☒

Specify if proposal requires permit/approval(s) from other permitting authorities:

Yes ☒ No ☐ Unknown ☐Will project require: Special Permit ☐ and/or Variance ☐ (Explain in narrative to be included with application)

## Applicant hereby submits site plan in accordance with the Northbridge Zoning By-law Article X Section 173-49.1 for approval

The undersigned's title to said land is derived from ownership by deed dated 10.03.1985 and recorded in the Worcester County District Registry of Deeds Book 9039, Page 362, registered in the

County Registry District of the Land Court, Certificate of Title No. \_\_\_\_\_

Applicant's Signature: Keith Akers Date: 10-23-2018Applicant's Address: 250 W 57th Street, Suite 701, New York, NY 10107Applicant's Telephone: 212.419.4840Owner's Signature: [Signature]Date: 10-24-18Owner's Address: One Main Street, Whitinsville, MA 01588Owner's Telephone: 508.234.6301

Applicant's Authorization if not the owner: \_\_\_\_\_

## Official Use Only:

Fee: \$ \_\_\_\_\_ Date Paid: \_\_\_\_\_ Check #: \_\_\_\_\_

Date of Public Hearing / Meeting(s): \_\_\_\_\_

## Permit application #:

Received by the Office of the Town Clerk:

Date: \_\_\_\_\_

Time: \_\_\_\_\_

Signature: \_\_\_\_\_

# BEALS • ASSOCIATES INC.

2 PARK PLAZA, SUITE 200, BOSTON, MA 02116  
PHONE: 617-242-1120

**October 24, 2018**

**R. Gary Bechtholdt II, Town Planner**  
Town of Northbridge  
Community Planning and Development  
14 Hill Street  
Whitinsville, MA 01588

**RE: Syncarpha Northbridge I Community Solar Project  
Church Street, Northbridge, MA  
Amendment to Site Plan Approval**

Dear Mr. Bechtholdt,

On behalf of Syncarpha Solar LLC, Beals Associates, Inc. has prepared this Request to Amend the Site Plan Approval that was issued on July 11, 2018. Syncarpha Solar LLC, is requesting to limb and fall trees beyond what has previously been permitted by the Planning Board. Trees will lie where they fall and stumps would remain. A limit of clearing line has been added to the Syncarpha Northbridge I Community Solar Project Plans revised October 22, 2018 to depict the limit of this request.

Syncarpha Solar, LLC is also seeking a request to amend the Order of Conditions from the Northbridge Conservation Commission within a letter entitled "Request to Amend Order of Conditions" dated October 23, 2018.

Listed below are details of the revisions made to each sheet.

**Sheet C3.0 Overall and Grading and Drainage Plan:** Shows the limit of clearing for the entire project. The limit of clearing line represents clearing that has previously been approved, and locations where additional clearing is being requested.

**Sheet C3.1 Grading and Drainage Plan North:** Has been revised to show a limit of clearing line along the edge of grading. Additional clearing is not being requested beyond what has previously been approved by the Planning Board.

**Sheet C3.2 Grading and Drainage Plan Northeast:** Has been revised to show a limit of clearing line. From station 13+00 to 23+75, clearing will be performed up to the limit of grading. From station 23+75 to station 32+00, clearing is being requested 25 feet from the fence line up to the 50' no build buffer zone.

**Sheet C3.3 Grading and Drainage Plan Northwest:** Has been revised to show a limit of clearing line. Clearing is being requested 25 feet from the fence line up to the 50' no build buffer zone. Clearing on this sheet will not be performed within the 50' no build zone except for the small area that has been previously approved for construction of level spreader 5.

**Sheet C3.4 Grading and Drainage Plan Southwest & Sheet C3.5 Grading and Drainage Plan Southeast:** Has been revised to show a limit of clearing line up to the 50' no build buffer zone and 25 feet from the fence line.



Syncarpha Northbridge I Community Solar Project  
Church Street, Northbridge, MA  
Amendment to Site Plan Approval  
October 24, 2018

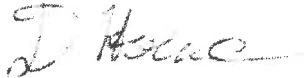
Page 2

**Closure**

We are requesting that this proposal to amend the Site Plan Approval for the Northbridge I Community Solar Project be placed on the next available agenda with the Planning Board.

If you have any additional questions or require additional information, please do not hesitate to contact me at the address above or via email at [dhowe@bealsassociates.com](mailto:dhowe@bealsassociates.com).

Sincerely,  
**Beals Associates, Inc.**



Devin P. Howe, E.I.T.  
Project Engineer

C: Keith Akers, Syncarpha

Enc: C0.0 Cover Sheet Revised October 22, 2018  
C3.0 Overall Grading and Drainage Plan Revised October 22, 2018  
C3.1 Grading and Drainage Plan North Revised October 22, 2018  
C3.2 Grading and Drainage Plan Northeast Revised October 22, 2018  
C3.3 Grading and Drainage Plan Northwest Revised October 22, 2018  
C3.4 Grading and Drainage Plan Southwest Revised October 22, 2018  
C3.5 Grading and Drainage Plan Southeast Revised October 22, 2018



# TOWN OF NORTHBRIDGE PLANNING BOARD

## APPLICATION FOR SITE PLAN REVIEW

NORTHBRIDGE MEMORIAL TOWN HALL - 7 MAIN STREET - WHITINSVILLE, MA 01588  
PHONE (508) 234-2447 - FAX (508) 234-0814

18 OCT 31 PM 2:58

Date: 10/23/2018

Applicant: Keith Akers, Syncarpha Northbridge II LLC

Address: 250 W 57th Street, Suite 701, New York, NY 10107

Contact information: mailing address / phone #: 212.419.4840 keith.akers@syncarpha.com

Owner: Leonard Jolles, Whitinsville Redevelopment Trust

Address: One Main Street, Whitinsville, MA 01588

Contact information: mailing address / phone #: len.jolles@wrtmanagement.com

### To the Planning Board of the Town of Northbridge

The undersigned, being the applicant for approval of a site plan review shown on a plan entitled: Northbridge II Community Solar Project designed by Beals Associates, Inc., dated Oct. 22, 2018 and described as follows:

A plan showing A revised solar panel layout of a large scale ground mounted photovoltaic solar facility.

Location (Street address): Providence Road

Assessor Plat Info: Map 14 Parcel(s) 22

Zoning District: Industrial One (I-1)

Total acreage of tract: 27.24

Proposed Use: Solar Facility

Total square footage of gross floor area proposed: 0

Project is a new structure or group of structures:

Yes ☒ No ☐

Project is an improvement, alteration, or addition to existing structures:

Yes ☐ No ☒

Specify if proposal requires permit/approval(s) from other permitting authorities:

Yes ☒ No ☐ Unknown ☐

Will project require: Special Permit ☐ and/or Variance ☐ (Explain in narrative to be included with application)

Applicant hereby submits site plan in accordance with the Northbridge Zoning By-law Article X Section 173-49.1 for approval

The undersigned's title to said land is derived from Ownership by deed dated 12.13.1995 and recorded in the Worcester County District Registry of Deeds Book 17559, Page 393, registered in the

County Registry District of the Land Court, Certificate of Title No. \_\_\_\_\_

Applicant's Signature: Keith Akers Date: \_\_\_\_\_

Applicant's Address: 250 W 57th Street, Suite 701, New York, NY 10107

Applicant's Telephone: 212.419.4840

Owner's Signature: [Signature] Date: 10-24-18

Owner's Address: One Main Street, Whitinsville, MA 01588

Owner's Telephone: 508.234.6301

Applicant's Authorization if not the owner: \_\_\_\_\_

#### Official Use Only:

Fee: \$ \_\_\_\_\_ Date Paid: \_\_\_\_\_ Check #: \_\_\_\_\_

Date of Public Hearing / Meeting(s): \_\_\_\_\_

Received by the Office of the Town Clerk:

Permit application #:

Date:

Time:

Signature:

# BEALS • ASSOCIATES

INC.

2 PARK PLAZA, SUITE 200, BOSTON, MA 02116  
PHONE: 617-242-1120

**October 23, 2018**

**R. Gary Bechtholdt II, Town Planner**  
Town of Northbridge  
Community Planning and Development  
14 Hill Street  
Whitinsville, MA 01588

**RE: Syncarpha Northbridge II Community Solar Project  
Providence Road, Northbridge, MA  
Amendment to Site Plan Approval**

Dear Mr. Bechtholdt,

On behalf of Syncarpha Solar LLC, Beals Associates, Inc. has prepared this Request to Amend the Site Plan Approval that was issued on July 11, 2018. Syncarpha Solar LLC, is requesting to allow for the relocation of solar panels.

Solar panels have been relocated throughout the project, and a larger portion of solar panels have been relocated east of Array Cluster B in a large area previously containing no solar panels. Due to the relocation of solar panels within wetland resource buffers, Syncarpha Solar, LLC is also seeking a request to amend the Order of Conditions from the Northbridge Conservation Commission within a letter entitled "Request to Amend Order of Conditions" dated October 23, 2018.

Revisions have been made to the stormwater management system, and a description of these changes are contained within a letter entitled "Stormwater Management Revisions" dated October 23, 2018 prepared by Beals Associates, Inc.

Listed below are details of the revisions made to each sheet.

**Sheet C0.1 General Notes:** Details the revised zoning compliance chart for the revised panel layout.

**Sheet C2.0 Overall Site Plan:** New gravel maintenance roads and revised panel layouts are shown for the entire project. A more detailed description for these changes are below.

**Sheet C2.1 Site Plan West:** The panel layout for Array Cluster A has expanded in the easterly direction towards the 50' no build buffer zone. The panel layout for Array Cluster B expanded slightly in the southerly direction.

**Sheet C2.2 Site Plan Center:** Array Cluster B has expanded in the easterly direction towards the northern property line and 100 foot resource buffer.

Two new gravel maintenance roads are proposed starting at station 10+50 and station 12+60. The 20 foot wide gravel maintenance road starting at station 10+50 will provide maintenance access to Array Cluster B, and will provide access to the new transformer on the eastern side of this new roadway. This road extends for approximately 700 feet in the northerly direction, and terminates at the 50 foot solar setback.

A second proposed gravel maintenance road starting at station 12+60 extends in the northerly direction for approximately 450 feet. This maintenance road will provide access for maintenance on stormwater basins six and seven.

The wetland crossing at station 14+50 previously contained retaining walls along both sides of the roadway. This area was reexamined, and it was determined that less wetland impact could be achieved if the retaining walls were replaced with 2:1 off-grading. This will be discussed further on Sheet C3.2 Grading and Drainage Plan Center.

Array Cluster C expanded approximately 12 feet in the southerly direction, approximately 60 feet in the easterly direction towards the gravel maintenance road, and did not expand in the northerly and westerly direction.

The array cluster area north of Array Cluster C, between the two gravel maintenance roads, has extended the permitted limits to be directly adjacent to the gravel maintenance roads.

**Sheet C2.3 Site Plan East:** The array cluster on the most northeastern portion of this sheet expanded slightly in the westerly direction. The remainder of the changes on this sheet are the same as discussed on sheet C2.2 Site Plan Center.

**Sheet C3.0 Overall Grading and Drainage Plan:** New gravel maintenance roads and the revised panel layouts are shown for the entire project. A limit of clearing line has also been added to the grading and drainage sheets. The limit of clearing line represents clearing that has previously been approved, as well as locations where additional clearing is being requested from the Conservation Commission within buffer zones.

**Sheet C3.1 Grading and Drainage Plan West:** The revisions show a limit of clearing line along the edge of grading along the gravel maintenance road. In addition, the culverts underneath the gravel road at station 5+00 have been revised from two 12 inch culverts to three 18 inch culverts. This will allow stormwater to pass through the culverts with lesser velocity, and reduce the possibility of erosion to the wetlands.

**Sheet C3.2 Grading and Drainage Plan Center:** Shows a limit of clearing line at the locations discussed on Sheet C3.1. Additionally, this limit of clearing line extends along the 50 foot no build buffer zone at locations in close proximity to the solar panels.

Grading has been added for the newly proposed 20 foot wide gravel maintenance road starting at station 10+50 which extends for approximately 700 feet in the northerly direction. At locations where grading intersects with panel locations. Variable slopes are proposed to allow for the installation of solar panels. This gravel maintenance road has been designed to facilitate flow across the maintenance road to maintain existing drainage patterns. Stormwater sheds in the easterly direction from this maintenance road to two stormwater basins. These basins will slow down stormwater, and control the release of stormwater prior to discharging easterly as in the existing conditions. To provide access to basin six and basin seven, a 10 foot wide gravel maintenance road has been added to allow a pickup truck to access these basins.

At station 14+50, there is an approved wetland crossing. At this crossing, there were previously two 18 inch culverts, as well as retaining walls on both sides of the roadway. Upon further examination by our office, it was determined that by removing the retaining wall, wetland impact could be reduced by approximately 160 square feet on the right side of the road and by approximately 138 square feet on the left side of the road. This would total a net reduction of 298 square feet of direct wetland impact. Additionally, by adding two 18 inch culverts for a total of four 18 inch culverts, exit velocity of stormwater at these culverts could be reduced to velocities

that are considered non-erosive. This would allow for the removal of the riprap outlet apron that previously resulted in direct impact to the wetland resource area, which would further reduce work within the wetland resource area.

**Sheet C3.3 Grading and Drainage Plan East:** Has been revised to show a limit of clearing line. Clearing is being requested from the Conservation Commission up to the 50 foot no build buffer zone near flags D-36 to D-32. A limit of clearing line has been added along the limit of grading along gravel roadways.

**Sheet C5.0 Erosion and Sedimentation Control Plan West:** Has been revised at station 5+00 to add extra erosion control fabric at the slope interface. Riprap inlet and outlet protection has been added at the new culvert location.

**Sheet C5.1 Erosion and Sedimentation Control Plan Center:** Has been revised to show erosion control measures at locations of grading for the proposed gravel maintenance roads.

As discussed for Sheet C3.2, riprap outlet and inlet aprons have been removed at the four 18 inch culverts at station 14+50. This would result in less direct impact to the wetland resource area.

**Sheet C5.2 Erosion and Sedimentation Control Plan East:** Has been revised to show erosion control measures at locations of proposed grading for the gravel maintenance roads.

**Sheet C6.0 Gravel Roadway Profiles:** Has been revised to include proposed vertical profiles for Gravel Road H and Gravel Road I. The profile for Gravel Road H is for the 20 foot gravel maintenance road that runs between the solar panels. The profile for Gravel Road I is for the gravel maintenance road to the stormwater basins. A section of Gravel Road A has been revised between station 9+00 and station 15+00 to allow for a smoother transition between the new gravel roadways, and to lower the roadway near the wetland crossing. Lowering the roadway near station 14+50 at the wetland crossing would allow for less direct impact to the wetlands.

**Sheet C7.0 Details:** Has been revised to include new cross sections for Gravel Maintenance Road H and I.

**Sheet C7.1 Details:** Revised to include a detail for a level spreader adjustable weir.

**Sheet C7.3 Details:** The outlet control structure has been revised to include two new outlet control risers, OCS 4 and OCS 5 for basins six and seven.

**Sheet C7.4 Details:** Has been revised to remove the detail for the retaining wall.

Syncarpha Northbridge II Community Solar Project  
Providence Road, Northbridge, MA  
Amendment to Site Plan Approval  
October 23, 2018

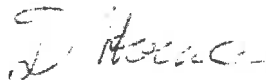
Page 4

**Closure**

We are requesting that this proposal to amend the Site Plan Approval for the Northbridge II Community Solar Project be placed on the next available agenda with the Planning Board.

If you have any additional questions or require additional information, please do not hesitate to contact me at the address above or via email at [dhowe@bealsassociates.com](mailto:dhowe@bealsassociates.com).

Sincerely,  
**Beals Associates, Inc.**



Devin P. Howe, E.I.T.  
Project Engineer

C: Keith Akers, Syncarpha

Enc: Plans to Accompany Permit Documents for Syncarpha Northbridge II Community Solar Project Revised October 22, 2018

# BEALS • ASSOCIATES Inc.

7 PARK PLAZA, SUITE 200 BORDEN, MA 02716  
PHONE: 617-243-1120

18 OCT 31 PM 2:58

NORTHBRIDGE TOWN CLERK  
DORIS A. CORRONE

**October 23, 2018**

**R. Gary Bechtholdt II, Town Planner**

Town of Northbridge

Community Planning and Development

14 Hill Street

Whitinsville, MA 01588

**RE: Syncarpha Northbridge II Community Solar Project  
Providence Road, Northbridge, MA  
Stormwater Management Revisions**

Dear Mr. Bechtholdt,

Syncarpha Northbridge II Community Solar Project is seeking to expand the solar panel array in the area east of the previously approved Array Cluster B north of station 12+00 of Gravel Maintenance Road A. Stormwater mitigation will be required to accommodate the addition of solar panels and additional gravel roads in this area. This area has previously been logged; however, to be consistent with the prior stormwater analysis performed for this project, the area has been considered wooded land in the pre-existing conditions. Post development conditions will consist of the conversion of this wooded area to gravel maintenance roads and meadow underneath solar panels.

To provide access to the new panels and transformers, an additional gravel maintenance road has been added to the project (Gravel Maintenance Road H). Gravel Maintenance Road H intersects with Gravel Maintenance Road A at station 10+50 and extends northerly to within approximately 50 feet of the northerly property line. This Road has been designed to allow runoff to flow across the roadway to maintain existing stormwater flow paths.

Two minor basins have been located at the easterly edge of the new panel locations. These basins have been designed to intercept stormwater from the increase of runoff that has been created from the conversion of woods to meadow. These basins have been designed with a 12 inch riser that will control stormwater prior to discharging into a level spreader. The level spreader will slow down the flow from the outlet prior to discharging easterly in the existing conditions. These basins have not been designed to infiltrate stormwater, however it is expected that some infiltration may occur reducing flows even further than what has been calculated.

A ten foot wide gravel maintenance road has been designed that extends from approximately station 12+50 of Gravel Road A approximately 400 feet to the north, and northwesterly for 200 feet. This maintenance road will provide maintenance access for the two new proposed basins six and seven. A 10 foot by 20 foot turn around/parking area has been provided at the end of this basin maintenance road.

### **Predevelopment Watershed Map**

The original watershed maps dated April 30, 2018 were delineated to ensure the development would have no impact to the watershed that flows through the property to the points of analysis. This watershed map contained three catchment areas that flowed to two analysis points along Providence Road.

A revised Predevelopment Watershed Map dated October 22, 2018 provides a more detailed analysis of existing stormwater flows. As part of this analysis, the subcatchments for Northbridge II have been broken down into more subcatchments. The original subcatchments in this area contained time of concentrations that were over generalized for the subcatchments. The majority of the subcatchments in the Northbridge II side contains catchments with low time of concentrations due to the very steep slopes present on the site. When the areas with steep slopes were grouped into a subcatchment with a long time of concentration, lower flow rates were reported that do not accurately resemble the peak flow rates from areas with steep slopes. The revised watershed map has split these subcatchments with longer time of concentrations into separate subcatchments prior to being reach routed to the Point of Analysis. Our office believes this approach will more accurately depict the existing watersheds.

**Subcatchment 0S** is defined by the ridge point on the abutting property to the north and is the area that generally flows into the wetland area. Stormwater in this subcatchment channelizes within the wetland and is routed through a series of reaches to Point of Analysis #4.

**Subcatchment 2S** is defined by the area tributary to the intermittent stream on the northwestern side. This area was delineated to encompass the area containing similar times of concentrations. There are no reaches from this subcatchment to Point of Analysis #4.

**Subcatchment 3S** is defined by the entire area tributary to Point of Analysis #5. This area remained unchanged from the original watershed maps delineated in the April 30, 2018 Predevelopment Watershed Map.

**Subcatchment 11S** is defined by the area tributary to the property line of the abutting property. This area was delineated to ensure there is no impact from the revised panel layout to the abutting property. This subcatchment is the only area in the predevelopment conditions tributary to Point of Analysis #7. This subcatchment is reach routed from the abutting property line to Point of Analysis #6.

**Subcatchment 12S** is defined by the area tributary to Point of Analysis of Analysis #6 and is defined by a ridge point found within the TSE Development LLC property to the north of the Northbridge II project. Flow within this subcatchment is generally to the easterly direction towards Providence Road.

**Subcatchment 14S** is defined by a small area previously delineated within the 2S subcatchment in the April 30<sup>th</sup> delineation. This area was separated from the larger catchment to ensure a more accurate model due to the longer time of concentration found within this small area. This subcatchment is reach routed to Point of Analysis #4.

**Subcatchment 15S** is defined by the areas of steep slopes. The time of concentration within this subcatchment is low due to the steep slopes which generate higher peak rates of runoff. Flows within this subcatchment convey within the center of subcatchment in a wetland area prior to flowing in the northeasterly direction towards Providence Road at Point of Analysis #4.



## Postdevelopment Watershed Map

The Postdevelopment Watershed Map Revised October 22, 2018 delineates new flow paths from the revised panel layout. Subcatchments were delineated to ensure ponds and culverts have been sized adequately to control stormwater runoff from the development area of the panels and gravel roadways.

Subcatchments 105S and 106S have been delineated in order to analyze flow at Point of Analysis #7 along the entire length of abutting property line prior to being reach routed to Point of Analysis #6, which analyzes the entire watershed area tributary to a low point found within 865 Providence Road.

### Points of Analysis

**Point of analysis #4** is located on the western side of Providence Road at a location where an intermittent stream discharges underneath Providence Road. This analysis point was located in the April 30<sup>th</sup>, 2018 Watershed Maps to ensure there would be no adverse impact to Providence Road. The results below are for the modeling of this Point of Analysis, and demonstrate there will be no impact during the 2-year, 10-year, and 100-year storm events:

2 Year Storm -	Pre: 6.12 cfs	Post: 5.96 cfs	Percent Change: -2.6%
10 Year Storm -	Pre: 23.52 cfs	Post: 21.41 cfs	Percent Change: -9.0%
100 Year Storm -	Pre: 59.74 cfs	Post: 52.59 cfs	Percent Change: -12.0%

**Point of analysis #5** is located on the western side of Providence Road at a catch basin that exists at the entrance to the Northbridge II development. This analysis point was located in the April 30<sup>th</sup>, 2018 Watershed Maps, and was located to ensure that there would be no impact to Providence Road. The results below are for the modeling of this Point of Analysis, and demonstrate there will be no impact during the 2-year, 10-year and 100-year storm events:

2 Year Storm -	Pre: 1.29 cfs	Post: 1.12 cfs	Percent Change: -13.2%
10 Year Storm -	Pre: 7.57 cfs	Post: 5.90 cfs	Percent Change: -22.1%
100 Year Storm -	Pre: 20.76 cfs	Post: 16.65 cfs	Percent Change: -19.8%

**Point of analysis #6** is analysis point that was identified during the revisions to the panel layout. This analysis point is located within 865 Providence Road, and was located to ensure that there would be no impact to the abutting property. The results below are for the modeling of this Point of Analysis, and demonstrate there will be no impact during the 2-year, 10-year and 100-year storm events:

2 Year Storm -	Pre: 2.54 cfs	Post: 2.54 cfs	Percent Change: 0.0%
10 Year Storm -	Pre: 10.41 cfs	Post: 10.41 cfs	Percent Change: 0.0%
100 Year Storm -	Pre: 24.87 cfs	Post: 24.87 cfs	Percent Change: 0.0%

**Point of analysis #7** is analysis point that was identified along the entire length of the abutting property line on the northern portion of the site. This analysis point examines the stormwater runoff prior to being routed to the overall analysis point of this watershed at Point of Analysis #6. Subcatchment 11S is the only catchment tributary to this analysis point in the predevelopment model. Modeling for this analysis point has been provided in a separate Postdevelopment Watershed model to properly analyze the combined hydrographs from subcatchments 105S and 106S. The results below are for the modeling of this Point of Analysis, and demonstrate there will be no impact during the 2-year, 10-year and 100-year storm events:

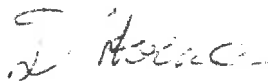
2 Year Storm -	Pre: 0.12 cfs	Post: 0.11 cfs	Percent Change: -0.8%
10 Year Storm -	Pre: 0.92 cfs	Post: 0.49 cfs	Percent Change: -46.7%
100 Year Storm -	Pre: 2.86 cfs	Post: 2.07 cfs	Percent Change: -27.6%

#### Conclusion

The results demonstrate that the peak rate of runoff is not increased for the 2-year, 10-year, and 100-year storm events. From the perspective of the Massachusetts Stormwater Standards, which are based on peak rates of runoff for the 2-year and 10-year storm events, it has been documented that the peak rates of runoff are at or below that of the predevelopment peak rates of runoff to the Points of Analyses. Standard 2 of the Massachusetts Stormwater Standards has been met. Additionally, the stormwater management report revised October 22, 2018 documents that all of the Massachusetts Stormwater Standards have been met.

If you have any additional questions or require additional information, please do not hesitate to contact me at the address above or via email at [dhowe@bealsassociates.com](mailto:dhowe@bealsassociates.com).

Sincerely,  
**Beals Associates, Inc.**



Devin P. Howe, E.I.T.  
Project Engineer

C: Keith Akers, Syncarpha

Enc: C3.0 Overall Grading and Drainage Plan – Syncarpha Northbridge I - Revised October 22, 2018  
C3.1 Grading and Drainage Plan North – Syncarpha Northbridge I - Revised October 22, 2018  
C3.2 Grading and Drainage Plan Northeast – Syncarpha Northbridge I - Revised October 22, 2018  
C3.3 Grading and Drainage Plan Northwest – Syncarpha Northbridge I - Revised October 22, 2018  
C3.4 Grading and Drainage Plan Southwest – Syncarpha Northbridge I - Revised October 22, 2018  
C3.5 Grading and Drainage Plan Southeast – Syncarpha Northbridge I - Revised October 22, 2018  
Plans to Accompany Permit Documents for Syncarpha Northbridge II Solar Project Revised October 22, 2018  
Stormwater Management Report Syncarpha Northbridge I and II Community Solar Project Revised October 22, 2018.

I.D.	TAX MAP / PARCEL	NAME	PROPERTY ADDRESS
A	15-50	SANDRA L. DANE	97 HILLSIDE DRIVE
B	15-50	WILLIAM J. DANE	97 HILLSIDE DRIVE
C	15-42	BRIGITTE W. NELSON	529 CHURCH STREET
D	15-51	IRVING HARTMAN	531 CHURCH STREET
E	15-52	CONSTANCE L. COLE	534 CHURCH STREET
F	15-53	GARDNER POWER, LLC	536 CHURCH STREET
G	15-54	GARDNER POWER, LLC	538 CHURCH STREET
H	15-55	BURTON CHURCH STREET, LLC	400 CHURCH STREET
I	15-56	CHURCH STREET	CHURCH STREET
J	15-57	MASS ELECTRIC CO.	461 CHURCH STREET
K	15-58	CHURCH STREET	CHURCH STREET
L	15-59	SPECIAL MAGNOLIA	431 CHURCH STREET
M	15-60	MARGARET L. E.	433 CHURCH STREET
N	15-61	DAVID A. VENEZIAN	435 CHURCH STREET
O	15-62	WHITNEY MARSH, LLC	437 CHURCH STREET
P	15-63	PATRICK M. LIGHTBOWN	439 CHURCH STREET
Q	15-64	EDWARD J. LIGHTBOWN	441 CHURCH STREET
R	15-65	JANICE B. REYNOLDS	443 CHURCH STREET
S	15-66	CHARLES F. AGOSTINI	445 CHURCH STREET
T	15-67	PAULINE A. SHELL	447 CHURCH STREET
U	15-68	VERONICA M. MOORE	449 CHURCH STREET
V	15-69	STANLEY KOSKAR	451 CHURCH STREET
W	15-70		

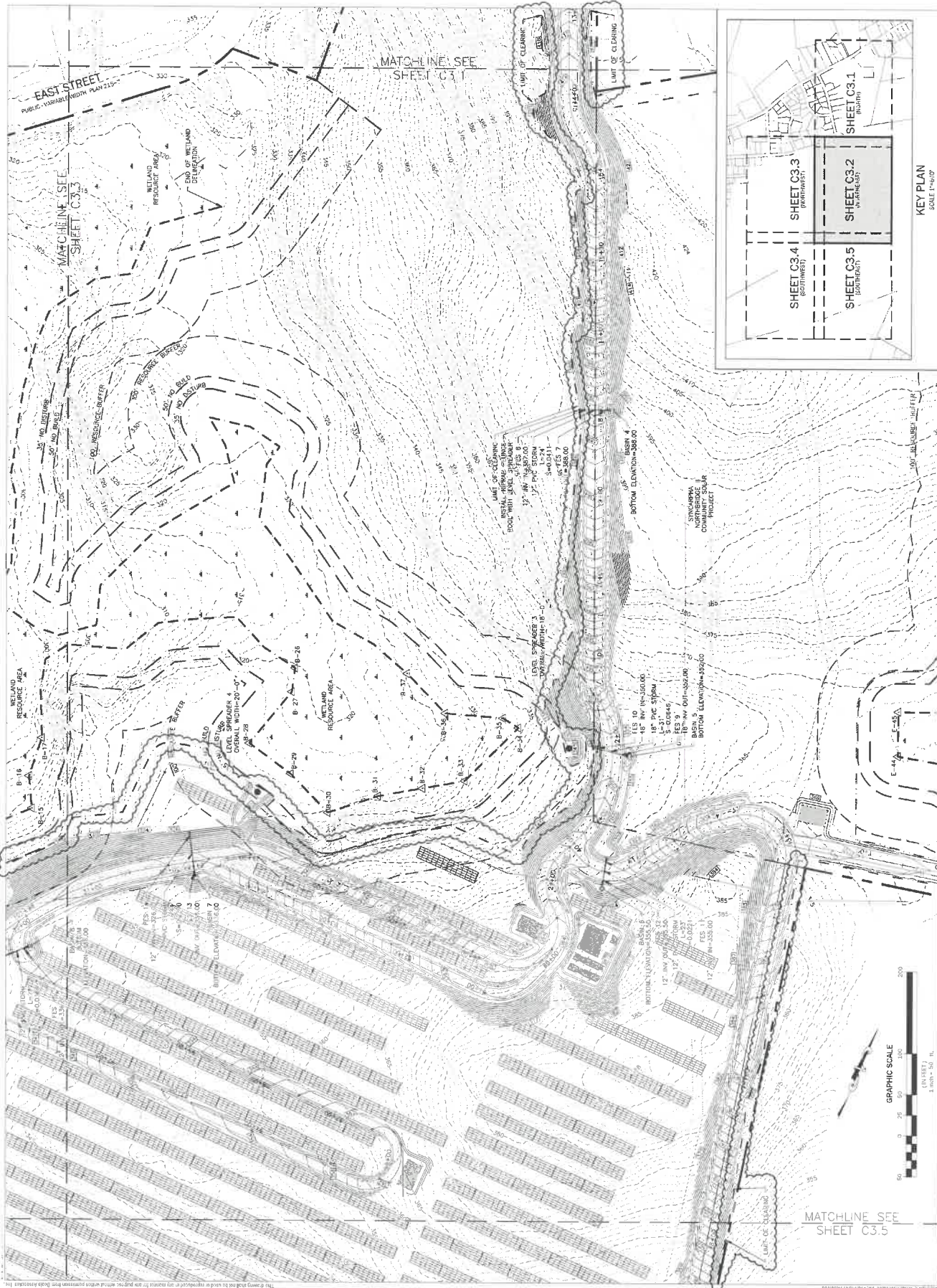
I.D.	TAX MAP / PARCEL	NAME	PROPERTY ADDRESS
X	15-71	JOSEPH L. RETIEN	453 CHURCH STREET
Y	15-72	ELIZABETH T. GORDON, JR.	455 CHURCH STREET
Z	15-73	JOHN A. LORGE	457 CHURCH STREET
AA	15-74	DANA S. BOUNGIE & JOHN J. BOUNGIE	459 CHURCH STREET
AB	15-75	CHONG CHAN	461 CHURCH STREET
AC	15-76	SANDRA M. GORDON	463 CHURCH STREET
AD	15-77	JOHN A. LORGE	465 CHURCH STREET
AE	15-78	JOHN A. LORGE	467 CHURCH STREET
AF	15-79	JOHN A. LORGE	469 CHURCH STREET
AG	15-80	JOHN A. LORGE	471 CHURCH STREET
AH	15-81	JOHN A. LORGE	473 CHURCH STREET
AI	15-82	JOHN A. LORGE	475 CHURCH STREET
AJ	15-83	JOHN A. LORGE	477 CHURCH STREET
AK	15-84	JOHN A. LORGE	479 CHURCH STREET
AL	15-85	JOHN A. LORGE	481 CHURCH STREET
AM	15-86	JOHN A. LORGE	483 CHURCH STREET

I.D.	TAX MAP / PARCEL	NAME	PROPERTY ADDRESS
AN	15-87	KENNETH REBELS	157-159 EAST STREET
AO	15-88	PAUL J. LUCIANO JR.	159 EAST STREET
AP	15-89	JOSEPH A. VANDER	161 EAST STREET
AQ	15-90	JOSEPH A. VANDER	163 EAST STREET
AR	15-91	JOSEPH A. VANDER	165 EAST STREET
AS	15-92	JOSEPH A. VANDER	167 EAST STREET
AT	15-93	JOSEPH A. VANDER	169 EAST STREET

I.D.	TAX MAP / PARCEL	NAME	PROPERTY ADDRESS
AV	15-94	SHELLY S. WELLS	171 EAST STREET
AW	15-95	GREGORY W. VANDER	173 EAST STREET
AX	15-96	JOSEPH A. VANDER	175 EAST STREET
AY	15-97	JOSEPH A. VANDER	177 EAST STREET
AZ	15-98	JOSEPH A. VANDER	179 EAST STREET
BA	15-99	JOSEPH A. VANDER	181 EAST STREET
BB	15-100	JOSEPH A. VANDER	183 EAST STREET
BC	15-101	JOSEPH A. VANDER	185 EAST STREET
BD	15-102	JOSEPH A. VANDER	187 EAST STREET
BE	15-103	JOSEPH A. VANDER	189 EAST STREET
BF	15-104	JOSEPH A. VANDER	191 EAST STREET
BG	15-105	JOSEPH A. VANDER	193 EAST STREET
BH	15-106	JOSEPH A. VANDER	195 EAST STREET
BI	15-107	JOSEPH A. VANDER	197 EAST STREET
BJ	15-108	JOSEPH A. VANDER	199 EAST STREET
BK	15-109	JOSEPH A. VANDER	201 EAST STREET
BL	15-110	JOSEPH A. VANDER	203 EAST STREET
BM	15-111	JOSEPH A. VANDER	205 EAST STREET
BN	15-112	JOSEPH A. VANDER	207 EAST STREET
BO	15-113	JOSEPH A. VANDER	209 EAST STREET
BP	15-114	JOSEPH A. VANDER	211 EAST STREET
BQ	15-115	JOSEPH A. VANDER	213 EAST STREET
BR	15-116	JOSEPH A. VANDER	215 EAST STREET
BS	15-117	JOSEPH A. VANDER	217 EAST STREET
BT	15-118	JOSEPH A. VANDER	219 EAST STREET
BU	15-119	JOSEPH A. VANDER	221 EAST STREET
BV	15-120	JOSEPH A. VANDER	223 EAST STREET
BW	15-121	JOSEPH A. VANDER	225 EAST STREET
BX	15-122	JOSEPH A. VANDER	227 EAST STREET
BY	15-123	JOSEPH A. VANDER	229 EAST STREET
BZ	15-124	JOSEPH A. VANDER	231 EAST STREET
CA	15-125	JOSEPH A. VANDER	233 EAST STREET
CB	15-126	JOSEPH A. VANDER	235 EAST STREET
CC	15-127	JOSEPH A. VANDER	237 EAST STREET
CD	15-128	JOSEPH A. VANDER	239 EAST STREET
CE	15-129	JOSEPH A. VANDER	241 EAST STREET
CF	15-130	JOSEPH A. VANDER	243 EAST STREET
CG	15-131	JOSEPH A. VANDER	245 EAST STREET
CH	15-132	JOSEPH A. VANDER	247 EAST STREET
CI	15-133	JOSEPH A. VANDER	249 EAST STREET
CJ	15-134	JOSEPH A. VANDER	251 EAST STREET
CK	15-135	JOSEPH A. VANDER	253 EAST STREET
CL	15-136	JOSEPH A. VANDER	255 EAST STREET
CM	15-137	JOSEPH A. VANDER	257 EAST STREET
CN	15-138	JOSEPH A. VANDER	259 EAST STREET
CO	15-139	JOSEPH A. VANDER	261 EAST STREET
CP	15-140	JOSEPH A. VANDER	263 EAST STREET
CQ	15-141	JOSEPH A. VANDER	265 EAST STREET
CR	15-142	JOSEPH A. VANDER	267 EAST STREET
CS	15-143	JOSEPH A. VANDER	269 EAST STREET
CT	15-144	JOSEPH A. VANDER	271 EAST STREET
CU	15-145	JOSEPH A. VANDER	273 EAST STREET
CV	15-146	JOSEPH A. VANDER	275 EAST STREET
CW	15-147	JOSEPH A. VANDER	277 EAST STREET
CX	15-148	JOSEPH A. VANDER	279 EAST STREET
CY	15-149	JOSEPH A. VANDER	281 EAST STREET
CZ	15-150	JOSEPH A. VANDER	283 EAST STREET
DA	15-151	JOSEPH A. VANDER	285 EAST STREET
DB	15-152	JOSEPH A. VANDER	287 EAST STREET
DC	15-153	JOSEPH A. VANDER	289 EAST STREET
DD	15-154	JOSEPH A. VANDER	291 EAST STREET
DE	15-155	JOSEPH A. VANDER	293 EAST STREET
DF	15-156	JOSEPH A. VANDER	295 EAST STREET
DG	15-157	JOSEPH A. VANDER	297 EAST STREET
DH	15-158	JOSEPH A. VANDER	299 EAST STREET
DI	15-159	JOSEPH A. VANDER	301 EAST STREET
DJ	15-160	JOSEPH A. VANDER	303 EAST STREET
DK	15-161	JOSEPH A. VANDER	305 EAST STREET
DL	15-162	JOSEPH A. VANDER	307 EAST STREET
DM	15-163	JOSEPH A. VANDER	309 EAST STREET
DN	15-164	JOSEPH A. VANDER	311 EAST STREET
DO	15-165	JOSEPH A. VANDER	313 EAST STREET
DP	15-166	JOSEPH A. VANDER	315 EAST STREET
DQ	15-167	JOSEPH A. VANDER	317 EAST STREET
DR	15-168	JOSEPH A. VANDER	319 EAST STREET
DS	15-169	JOSEPH A. VANDER	321 EAST STREET
DT	15-170	JOSEPH A. VANDER	323 EAST STREET
DU	15-171	JOSEPH A. VANDER	325 EAST STREET
DV	15-172	JOSEPH A. VANDER	327 EAST STREET
DW	15-173	JOSEPH A. VANDER	329 EAST STREET
DX	15-174	JOSEPH A. VANDER	331 EAST STREET
DY	15-175	JOSEPH A. VANDER	333 EAST STREET
DZ	15-176	JOSEPH A. VANDER	335 EAST STREET
EA	15-177	JOSEPH A. VANDER	337 EAST STREET
EB	15-178	JOSEPH A. VANDER	339 EAST STREET
EC	15-179	JOSEPH A. VANDER	341 EAST STREET
ED	15-180	JOSEPH A. VANDER	343 EAST STREET
EE	15-181	JOSEPH A. VANDER	345 EAST STREET
EF	15-182	JOSEPH A. VANDER	347 EAST STREET
EG	15-183	JOSEPH A. VANDER	349 EAST STREET
EH	15-184	JOSEPH A. VANDER	351 EAST STREET
EI	15-185	JOSEPH A. VANDER	353 EAST STREET
EJ	15-186	JOSEPH A. VANDER	355 EAST STREET
EK	15-187	JOSEPH A. VANDER	357 EAST STREET
EL	15-188	JOSEPH A. VANDER	359 EAST STREET
EM	15-189	JOSEPH A. VANDER	361 EAST STREET
EN	15-190	JOSEPH A. VANDER	363 EAST STREET
EO	15-191	JOSEPH A. VANDER	365 EAST STREET
EP	15-192	JOSEPH A. VANDER	367 EAST STREET
EQ	15-193	JOSEPH A. VANDER	369 EAST STREET
ER	15-194	JOSEPH A. VANDER	371 EAST STREET
ES	15-195	JOSEPH A. VANDER	373 EAST STREET
ET	15-196	JOSEPH A. VANDER	375 EAST STREET
EU	15-197	JOSEPH A. VANDER	377 EAST STREET
EV	15-198	JOSEPH A. VANDER	379 EAST STREET
EW	15-199	JOSEPH A. VANDER	381 EAST STREET
EX	15-200	JOSEPH A. VANDER	383 EAST STREET
EY	15-201	JOSEPH A. VANDER	385 EAST STREET
EZ	15-202	JOSEPH A. VANDER	387 EAST STREET
FA	15-203	JOSEPH A. VANDER	389 EAST STREET
FB	15-204	JOSEPH A. VANDER	391 EAST STREET
FC	15-205	JOSEPH A. VANDER	393 EAST STREET
FD	15-206	JOSEPH A. VANDER	395 EAST STREET
FE	15-207	JOSEPH A. VANDER	397 EAST STREET
FF	15-208	JOSEPH A. VANDER	399 EAST STREET
FG	15-209	JOSEPH A. VANDER	401 EAST STREET
FH	15-210	JOSEPH A. VANDER	403 EAST STREET
FI	15-211	JOSEPH A. VANDER	405 EAST STREET
FJ	15-212	JOSEPH A. VANDER	407 EAST STREET
FK	15-213	JOSEPH A. VANDER	409 EAST STREET
FL	15-214	JOSEPH A. VANDER	411 EAST STREET
FM	15-215	JOSEPH A. VANDER	413 EAST STREET
FN	15-216	JOSEPH A. VANDER	415 EAST STREET
FO	15-217	JOSEPH A. VANDER	417 EAST STREET
FP	15-218	JOSEPH A. VANDER	419 EAST STREET
FQ	15-219	JOSEPH A. VANDER	421 EAST STREET
FR	15-220	JOSEPH A. VANDER	423 EAST STREET
FS	15-221	JOSEPH A. VANDER	425 EAST STREET
FT	15-222	JOSEPH A. VANDER	427 EAST STREET
FU	15-223	JOSEPH A. VANDER	429 EAST STREET
FV	15-224	JOSEPH A. VANDER	431 EAST STREET
FW	15-225	JOSEPH A. VANDER	433 EAST STREET
FX	15-226	JOSEPH A. VANDER	435 EAST STREET
FY	15-227	JOSEPH A. VANDER	437 EAST STREET
FZ	15-228	JOSEPH A. VANDER	439 EAST STREET
GA	15-229	JOSEPH A. VANDER	441 EAST STREET
GB	15-230	JOSEPH A. VANDER	443 EAST STREET
GC	15-231	JOSEPH A. VANDER	445 EAST STREET
GD	15-232	JOSEPH A. VANDER	447 EAST STREET
GE	15-233	JOSEPH A. VANDER	449 EAST STREET
GF	15-234	JOSEPH A. VANDER	451 EAST STREET
GH	15-235	JOSEPH A. VANDER	453 EAST STREET
GI	15-236	JOSEPH A. VANDER	455 EAST STREET
GO	15-237	JOSEPH A. VANDER	457 EAST STREET
GP	15-238	JOSEPH A. VANDER	459 EAST STREET
GQ	15-239	JOSEPH A. VANDER	461 EAST STREET
GR	15-240	JOSEPH A. VANDER	463 EAST STREET
GS	15-241	JOSEPH A. VANDER	465 EAST STREET
GT	15-242	JOSEPH A. VANDER	467 EAST STREET
GU	15-243	JOSEPH A. VANDER	469 EAST STREET
GV	15-244	JOSEPH A. VANDER	471 EAST STREET
GW	15-245	JOSEPH A. VANDER	473 EAST STREET
GX	15-246	JOSEPH A. VANDER	475 EAST STREET
GY	15-247	JOSEPH A. VANDER	477 EAST STREET
GZ	15-248	JOSEPH A. VANDER	479 EAST STREET
HA	15-249	JOSEPH A. VANDER	481 EAST STREET
HB	15-250	JOSEPH A. VANDER	483 EAST STREET
HC	15-251	JOSEPH A. VANDER	485 EAST STREET
HD	15-252	JOSEPH A. VANDER	487 EAST STREET
HE	15-253	JOSEPH A. VANDER	489 EAST STREET
HF	15-254	JOSEPH A. VANDER	491 EAST STREET
HG	15-255	JOSEPH A. VANDER	493 EAST STREET
HH	15-256	JOSEPH A. VANDER	495 EAST STREET
HI	15-257	JOSEPH A. VANDER	497 EAST STREET
HJ	15-258	JOSEPH A. VANDER	499 EAST STREET
HK	15-259	JOSEPH A. VANDER	501 EAST STREET
HL	15-260	JOSEPH A. VANDER	503 EAST STREET
HM	15-261	JOSEPH A. VANDER	505 EAST STREET
HN	15-262	JOSEPH A. VANDER	507 EAST STREET
HO	15-263	JOSEPH A. VANDER	509 EAST STREET
HP	15-264	JOSEPH A. VANDER	511 EAST STREET
HQ	15-265	JOSEPH A. VANDER	513 EAST STREET
HR	15-266	JOSEPH A. VANDER	515 EAST STREET
HS	15-267	JOSEPH A. VANDER	517 EAST STREET
HT	15-268	JOSEPH A. VANDER	519 EAST STREET
HU	15-269	JOSEPH A. VANDER	521 EAST STREET
HV	15-270	JOSEPH A. VANDER	523 EAST STREET
HW	15-271	JOSEPH A. VANDER	525 EAST STREET
HX	15-272	JOSEPH A. VANDER	527 EAST STREET
HY	15-273	JOSEPH A. VANDER	529 EAST STREET
HZ	15-274	JOSEPH A. VANDER	531 EAST STREET
IA	15-275	JOSEPH A. VANDER	533 EAST STREET
IB	15-276	JOSEPH A. VANDER	535 EAST STREET
IC	15-277	JOSEPH A. VANDER	537 EAST STREET
ID	15-278	JOSEPH A. VANDER	539 EAST STREET
IE	15-279	JOSEPH A. VANDER	541 EAST STREET
IF	15-280	JOSEPH A. VANDER	543 EAST STREET
IG	15-281	JOSEPH A. VANDER	545 EAST STREET
IH	15-282	JOSEPH A. VANDER	547 EAST STREET
II	15-283	JOSEPH A. VANDER	549 EAST STREET
IO	15-284	JOSEPH A. VANDER	551 EAST STREET
IP	15-285	JOSEPH A. VANDER	553 EAST STREET
IQ	15-286	JOSEPH A. VANDER	555 EAST STREET
IR	15-287	JOSEPH A. VANDER	557 EAST STREET
IS	15-288	JOSEPH A. VANDER	559 EAST STREET
IT	15-289	JOSEPH A. VANDER	561 EAST STREET
IU	15-290	JOSEPH A. VANDER	563 EAST STREET
IV	15-291	JOSEPH A. VANDER	565 EAST STREET
IW	15-292	JOSEPH A. VANDER	567 EAST STREET
IX	15-293	JOSEPH A. VANDER	569 EAST STREET
IY	15-294	JOSEPH A. VANDER	571 EAST STREET
IZ	15-295	JOSEPH A. VANDER	573 EAST STREET
JA	15-296	JOSEPH A. VANDER	575 EAST STREET
JB	15-297	JOSEPH A. VANDER	577 EAST STREET
JC	15-298	JOSEPH A. VANDER	579 EAST STREET
JD	15-299	JOSEPH A. VANDER	581 EAST STREET
JE	15-300	JOSEPH A. VANDER	583 EAST STREET
JF	15-301	JOSEPH A. VANDER	585 EAST STREET
JG	15-302	JOSEPH A. VANDER	587 EAST STREET
JH	15-303	JOSEPH A. VANDER	589 EAST STREET
JI	15-304	JOSEPH A. VANDER	591 EAST STREET
JO	15-305	JOSEPH A. VANDER	593 EAST STREET
JP	15-306	JOSEPH A. VANDER	595 EAST STREET
QQ	15-307	JOSEPH A. VANDER	597 EAST STREET
QR	15-308	JOSEPH A. VANDER	599 EAST STREET
QS	15-309	JOSEPH A. VANDER	601 EAST STREET
QT	15-310	JOSEPH A. VANDER	603 EAST STREET
QU	15-311	JOSEPH A. VANDER	605 EAST STREET
QV	15-312	JOSEPH A. VANDER	607 EAST STREET
QW	15-313	JOSEPH A. VANDER	609 EAST STREET
QX	15-314	JOSEPH A. VANDER	611 EAST STREET
QY	15-315	JOSEPH A. VANDER	613 EAST STREET
QZ	15-316	JOSEPH A. VANDER	615 EAST STREET
RA	15-317	JOSEPH A. VANDER	617 EAST STREET
RB	15-318	JOSEPH A. VANDER	619 EAST STREET
RC	15-319	JOSEPH A. VANDER	621 EAST STREET
RD	15-320	JOSEPH A. VANDER	623 EAST STREET
RE	15-321	JOSEPH A. VANDER	625 EAST STREET
RF	15-322	JOSEPH A. VANDER	627 EAST STREET
RG	15-323	JOSEPH A. VANDER	629 EAST STREET
RH	15-324	JOSEPH A. VANDER	631 EAST STREET







MATCHLINE SEE SHEET C3.5

**Syncrpha Northridge I**  
 Community Solar Project  
 Northridge, MA  
 Church Street



Permit Drawings

Drawn by: J. H. [illegible]  
 Checked by: J. H. [illegible]  
 Title: [illegible]  
 Sheet No.: [illegible]

**GRADING AND DRAINAGE PLAN**  
 NORTHEDGE

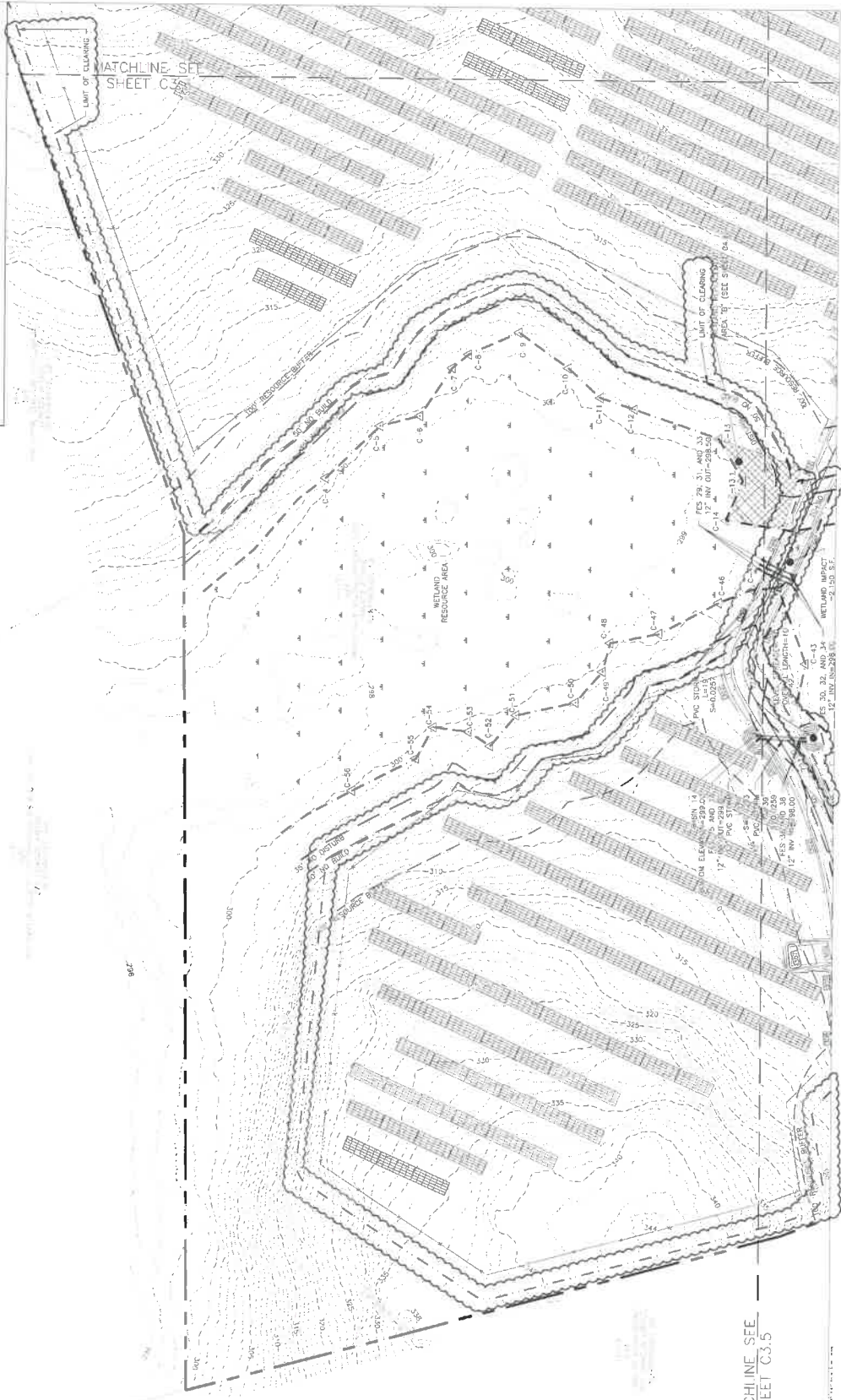
**C3.2**

**syncrpha**  
 270 N. P. [illegible]  
 1000 [illegible]  
 REM

Site Plan Approved for Grading  
 Permitting Unit  
 Date: [illegible]







THE M.A.S. ASSOCIATES, INC.  
1000 WEST 10TH AVENUE, SUITE 100  
DENVER, CO 80202  
TELEPHONE: (303) 733-1100  
FAX: (303) 733-1101  
WWW.MAS-ASSOCIATES.COM

REM  
sincapha

Site Plan Approval for Solar  
Planning Board  
DATE

Sincapha Northridge I  
Community Solar Project  
Church Street  
Northridge, MA

Project	
Client	
Design	
Construction	
Permit	
As-Built	



Permit Drawings  
Northridge I, MA - 02456  
Project: Church Street Solar Project  
Sheet No. C3.4

GRADING AND  
DRAINAGE PLAN  
SOUTHWEST

C3.4





November 9, 2018

R. Gary Bechtholdt II, Town Planner  
Town of Northbridge  
Community Planning & Development  
7 Main Street  
Whitinsville, MA 01588

**Subject:** Syncarpha Northbridge I Community Solar Project  
Church Street - Northbridge  
Site Plan "Peer Review"

**JHEG Job #:** C0034-32

Dear Mr. Bechtholdt:

We are in receipt of the following:

1. Letter dated October 23, 2018 to David Pickart, Northbridge Conservation Agent entitled Syncarpha Northbridge I Community Solar Project, Church Street, Northbridge, MA, Request to Amend Order of Conditions, prepared by Devin P. Howe, EIT,. Project Manager Beals Associates, Inc..
2. Plan entitled "Plans to Accompany Permit Documents for Wetland Resource and Buffer Restoration Project, Church Street and Providence Road, Northbridge, Massachusetts" prepared by Beals Associates, dated April 30, 2018, latest revision date of August 22, 2018 (Sheets C3.0, - C3.5 only).

JH Engineering Group, LLC has been requested to provide a "Peer Review" of Site Plan submittal to the Northbridge Planning Board and the Notice of Intent Filing with the Northbridge Conservation Commission. The reviews are based upon Chapter 173 – Zoning, Town of Northbridge, Massachusetts, Town of Northbridge Chapter 222 – Subdivision Rules & Regulations, Town of Northbridge Wetlands Protection Bylaw, and general engineering practice.

**Our comments are as follows:**

1. We compared the previously submitted plans (latest revision date August 10, 2018) with the new set and found the proposed tree clearing limits appear to be generally in the same vicinity assumed tree clearing limits (though a tree clearing limit line was not previously provided).
2. The Applicant should verify if the assumptions used for woods versus meadow in the Stormwater Management Report for each of the effected drainage areas remains the same.

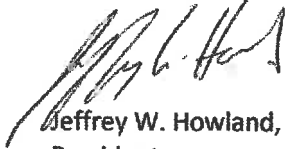
November 9, 2018  
Site Plan "Peer Review"  
Syncarpha Northbridge I Community Solar Project  
Page 2

Though the tree stumps will remain, we would assume the area would become meadow versus woods. If the land cover is different provide a summary of the changes and if necessary modify the calculations.

3. All previous outstanding comments from our October 23, 2018 letter should remain.

If you have any questions or comments concerning this matter, please feel free to contact our office.

Sincerely,  
JH Engineering Group, LLC



Jeffrey W. Howland, P.E.  
President

Cc: David Pickart, via e-mail

## NORTHBRIDGE PLANNING BOARD

**MEETING MINUTES**

Tuesday, November 13, 2018

Recognizing the presence of a quorum Chair Brian Massey called the Planning Board meeting to order at 7:00 PM; with Harry Berkowitz, James Berkowitz, Rainer Forst, and Abdul Kafal in attendance. R. Gary Bechtholdt II, Town Planner was also present. One (1) Planning Board vacancy remains (Associate Member).

The following members of the public were in attendance: Robert Cherrier; Eric Bazzett, Allen Engineering & Associates, LLC.; Stephen O'Connell, Andrews Survey & Engineering, Inc.; Duane Boucher; John Boucher; Edward Renaud; Victor Hernandez; & Muneer Ahmed

**I. CITIZENS FORUM**

None

**II. Form A**

None

**III. PLANNED BUSINESS DEVELOPMENT -CONT. PUBLIC HEARING**

Site Plan Review [§173-49.1] &amp; Special Permit [§173-47 B (2)]

Main Street/Water Street (Assessor Map 2 Parcels 36 &amp; 37)

Auto Repair, Car Wash &amp; Contractors' Yard

Eric Bazzett, Allen Engineering & Associates, Inc. provided the Planning Board with an update on the Safety Committee review, noting the Safety Committee has approved the changes made addressing the following previously noted concerns: revised driveway (separate entrance/exit); extended sidewalk along frontage; snow storage; and improved access around buildings.

Mr. Bazzett explained that the building to the rear has been shifted slightly to accommodate Fire Department concerns of access (10-foot wide leveling area), Water Street will remain open to the public, and a snow easement area will be delineated along the layout of Water Street for the benefit of the Town (plowing). Mr. Bazzett also indicated that a de-icing agent will be stored onsite to minimize icing concerns onto Main Street during the winter months.

Mr. Bazzett advised the Planning Board that revised plans and updated Stormwater Drainage Report will be prepared and distributed to JH Engineering Group (Board's Consultant) for follow-up review and comment. Mr. Bazzett also informed the Board that the revised plans will be reviewed by the Conservation Commission at its December meeting.

Mr. Bechtholdt reminded the Planning Board and the Applicant/Engineer that as part of the special permit application the Board shall review the proposed buildings (façades) and landscaping treatments for the site

development. Mr. Bechtholdt suggested the Planning Board may restrict signing-off on any building permit application until such time the Board reviews/approves of the building elevations for each building proposed.

Chair Massey agreed and acknowledged that the Planning Board spent some time reviewing the buildings and signage for the projects off Douglas Road (self-storage facility) and North Main/Arcade Street (gas station & convenience store).

Harry Berkowitz suggested rather than hiring an architect at this time, the Applicant (Robert Cherrier) could provide the Board with brochures and samples of what the buildings may look like. James Berkowitz agreed.

Prior to continuing the public hearing, the Planning Board confirmed with the Applicant/Engineer when revised plans would be readied and when the Conservation Commission is scheduled to meet next.

*Upon motion duly made (H. Berkowitz) and seconded (J. Berkowitz) the Planning Board voted (4-0-1 [R. Forst abstained]) to continue the public hearing to Tuesday, December 11, 2018 at 7:05 PM (Northbridge Memorial Town Hall).*

#### IV. CHURCH STREET, SENIOR LIVING DEVELOPMENT -REVIEW/DISCUSSION

Article XVII, Section 173-114 [Procedures]

Pre-Application -Conceptual Development Plan

Stephen O'Connell, Andrews Survey & Engineering, Inc. provided the Planning Board with an update of the Safety Committee review, noting the Committee has accepted the proposed layout (entrance/exit) on Church Street for the planned 120-unit Senior Living Development. Mr. O'Connell noted the conceptual layout has been revised to reduce the boulevard entrance and the elimination of cul-de-sac islands. Mr. O'Connell explained to the Board that he Fire Chief and Safety Committee accepted the single-access to/from provided the driveway access along Church Street is widened to accommodate emergency vehicles and does not allow for on-street parking.

Mr. O'Connell updated the Board on the planned layout of the housing units, noting the buildings will be 2 and 3-units, no longer 4-unit structures as a result of the developer's preference and overall topography of the site. Mr. O'Connell explained to the Board that the Senior Living Bylaw requires a minimum of 35-feet of separation between buildings which is unique to this bylaw. Mr. O'Connell suggested if the Board was willing to consider reducing the setback he would contact the Fire Department and Inspector of Buildings to seek their input before final plans are prepared. Harry Berkowitz and James Berkowitz indicated they would support reduced building separation if the Fire Department is comfortable with same.

Mr. O'Connell explained to the Board that the conceptual layout currently shows 110-units however the Developer has expressed and calculated a need to have 120-units based upon site conditions and associated improvements to make the project viable. Mr. O'Connell stated his clients are currently

85 completing a similar project in North Smithfield, Rhode Island. Chair Massey questioned reasons to justify  
86 120-units verses 110-units and the challenges associated.

87  
88 Chair Massey reminded Mr. O’Connell that as part of the formal application submittal they will need to  
89 show conformance with the density allowed with open space requirements, slope restrictions and wetland  
90 resource areas. Mr. Bechtholdt reminded Mr. O’Connell that the development will need to provide for off-  
91 street parking.

92  
93 James Berkowitz inquired about access to Henry Street; Mr. O’Connell explained the project is proposed as  
94 a single-access along Main Street, noting the Fire Chief and Safety Committee are okay with the limited  
95 access which is similar to Heritage Park on Linwood Avenue. Harry Berkowitz noted that he liked the look  
96 of the boulevard entrance; Mr. O’Connell suggested the boulevard will likely be further modified to address  
97 concerns of the Safety Committee.

98  
99 Mr. O’Connell briefly reviewed with the Board timing of a formal submittal, noting they hope to commence  
100 construction in the spring, if not sooner depending on the weather.

101  
102 Having no additional comments, the Planning Board thanked Mr. O’Connell, Mr. Renaud, and Duane & John  
103 Boucher for attending.

104  
105 **OLD / NEW BUSINESS**

106  
107 Approval of Meeting Minutes –September 25, 2018, October 09, 2018 & October 23, 2018

108 *Upon motion duly made and seconded the Planning Board voted to accept the meeting minutes for*  
109 *September 25, 2018; October 09, 2018 and October 23, 2018.*

110  
111 2019 Spring Annual Town Meeting (SATM) -Tuesday, May 07, 2019

112 Point of information -no discussion.

113  
114 2019 Planning Board Calendar -Scheduling of Meetings

115 *Upon motion duly made and seconded the Planning Board voted to set its meeting schedule for the calendar*  
116 *year of 2019. Mr. Bechtholdt suggested meeting dates may be subject to change, as may be voted by the*  
117 *Planning Board.*

118  
119 Hemlock Estates -Construction Status/Update; MGL CH 41 SEC 81U -Proceedings

120 Mr. Bechtholdt advised the Planning Board that he has not spoken with the Developer (J&F Marinella Dev)  
121 and was not sure if Mr. Marinella planned to address any outstanding issues before winter. Chair Massey  
122 indicated that he has visited the site a number of times and has not seen a lot of activity specific to the  
123 subdivision roadway; other Board members expressed their continued frustration. Mr. Bechtholdt  
124 suggested the Board consider calling-in the performance bond. Harry Berkowitz agreed, noting like the  
125 Camelot subdivision this will put the Developer on notice. *Upon motion duly made (H. Berkowitz) and*  
126 *seconded (R. Forst) the Planning Board voted (5-0) to initiate calling-in the performance bond held for*

127 *Hemlock Estates.* Mr. Bechtholdt explained to the Board that he will contact the DPW Director to conduct  
128 a site inspection and prepare a punchlist of outstanding issues (in addition to JH Engineering Group), once  
129 received a letter will be delivered to the Developer informing proceedings of MGL CH 41 SEC 81U. Victor  
130 Hernandez arrived after the Planning Board discussion/vote; Chair Massey informed Mr. Hernandez of the  
131 Board's action to initiate calling-in the bond. Mr. Hernandez stated he hopes the Developer can finish the  
132 work. Mr. Hernandez updated the Board on the puddling issues at his driveway; suggesting nothing has  
133 been done to correct the situation. Chair Massey explained that he has been out there a number of times  
134 since this issue was identify. Mr. Massey directed the Town Planner to contact the Developer (write a  
135 letter) to address this concern. Mr. Massey suggested he would also talk directly with the Highway  
136 Superintendent to review onsite the puddling situation. Mr. Hernandez explained to the Board that water  
137 is coming from everywhere, across the street from the lots and down the hill. Mr. Hernandez informed Mr.  
138 Massey that he spoke with the Building Inspector, who said he cannot do anything about it. Mr. Massey  
139 noted that he too observed water coming from various lots and will talk with the Building Inspector.

140  
141 Camelot -Construction Status/Update; MGL CH 41 SEC 81U -Notification

142 Planning Board received copy of letter sent by Planning to J&F Marinella notifying Developer of MGL CH 41  
143 SEC 81U proceedings to call-in the performance bond. Mr. Bechtholdt noted that he spoke briefly with  
144 Joseph Marinella last week, however it appears work along Joseph Circle has once again stopped.

145  
146 Carpenter Estates -Construction Status/Update

147 Muneer Ahmed, Developer met with the Planning Board to review updated construction schedule  
148 (updated 11/12/18). Chair Massey reviewed with Mr. Ahmed, JH Engineering Group's observation report  
149 dated October 05, 2018. Mr. Ahmed explained to the Board that all the swales except for 3 house lots have  
150 been installed. James Berkowitz indicated that he has driven through the development recently,  
151 suggesting the swales appear to be holding up and doing their job. Chair Massey suggested the roadway  
152 looks better, however reminded the Developer to keep up with street sweeping. Mr. Massey stated he  
153 would like the road swept more often. Mr. Massey asked Mr. Ahmed to install (extend) the guardrail  
154 adjacent to the community mailbox location; Mr. Massey did not like the idea of placing large boulders,  
155 wants a more permanent separation. Mr. Bechtholdt instructed Mr. Ahmed to install grate(s) at the culvert  
156 where the drainage runs beneath the roadway. Mr. Bechtholdt also asked the Developer to cutback the  
157 embankment along Carpenter Road to improve sightlines. Mr. Ahmed agreed to do so.

158  
159 Planning Board Vacancy -Associate Member

160 Point of information -no discussion.

161  
162 Open Space & Recreation Plan Update -Status

163 Mr. Bechtholdt advised the Board that he hopes to once again focus efforts in completing the update and  
164 will be reaching out to Update Committee members soon.

165  
166 Streetlight Installation -Status/Update

167 Chair Massey explained to the Board that he spoke with National Grid and provided them with a draft  
168 checklist that he will provided to DPW to assist them in coordinating with Developers installation of

streetlights in subdivisions. Mr. Massey noted the checklist includes a template letter to be used by the DPW and Developers when communicating with National Grid. Mr. Massey noted National Grid was impressed with the checklist and expressed his frustration with DPW's lack of response and continued lack of urgency in getting lights installed. Mr. Massey suggested when he does distribute checklist he will copy the Town Manager.

#### Planning -Weekly Report(s)

Planning Board received copy of the Town Planner's weekly report(s) for the Week of October 1<sup>st</sup>, October 8<sup>th</sup>, October 15<sup>th</sup>, October 22<sup>nd</sup>, and November 5<sup>th</sup>, 2018.

#### Planning Board Concerns

Rainer Forst indicated he would not be able to attend the next scheduled Planning Board meeting (11/27/2018); Brian Massey explained that he may not be able to attend the December 11, 2018 meeting however will double-check before the next meeting.

#### Mail -Review

In addition to the mail listed (attached) the Planning Board noted receipt of the following communications: Planning Board agendas for the November 13, 2018; (draft) agenda for the November 27, 2018; Letter dated November 07, 2018 to Town Planner from WRT Management Corp regarding informal meeting for cannabis cultivation at their mill complex; Draft meeting minutes of September 25, 2018; Draft meeting minutes of the October 09, 2018 meeting; Draft meeting minutes of the October 23, 2018 Fall Annual Town Meeting; Draft 2019 Schedule of Planning Board meeting dates; Form G Performance Secured by Deposit of Money dated October 09, 2018 for Hemlock Estates; Letter dated October 05, 2018 to Town Planner from JH Engineering regarding Hemlock Estates Phase 1, 2, and 3 (composite) Engineer's Construction Estimate; Letter dated October 05, 2018 to Town Planner from JH Engineering concerning Hemlock Estates Construction Observation Report; Form G Performance Secured by Deposit of Money for The Camelot dated October 09, 2018; Letter dated October 22, 2018 to J & F Marinella Development from Town Planner concerning The Camelot Phase 1A & 1B (Rebecca Road and Joseph Circle) notification; Form K Performance Secured by Lenders Agreement dated October 09, 2018 for Carpenter Estates; Letter dated October 05, 2018 to Town Planner from JH Engineering regarding Carpenter Estates Construction Observation Report; Form I Performance by Other Security dated October 09, 2018 for Leonardo Estates; Email dated October 11, 2018 to Town Planner & Administrative Assistant from JH Engineering regarding Leonardo Estates; Letter dated October 05, 2018 to Town Planner from JH Engineering regarding Leonardo Estates Construction Observation Report; Letter dated October 05, 2018 to Town Planner from JH Engineering concerning Presidential Farms Phase V Construction Observation Report; Community Planning & Development Weekly Report of October 01–05, 2018; Community Planning & Development Weekly Report of October 08 – 12, 2018; Community Planning & Development Weekly Report of October 15 – 19, 2018; Community Planning & Development Weekly Report of October 22–26, 2018; Community Planning & Development Weekly Report of November 05–09, 2018; Email dated October 23, 2018 to Town Planner from CMRPC concerning Mobility 2040 –Update for 2020; Draft Schedule for 2019 Conservation Commission Meeting dates; 2018 Planning Board Meeting dates.

211 Other

212 None

213

214 Adjournment

215 Having no additional business, the Planning Board adjourned its meeting of Tuesday, November 13, 2018 at  
216 or about 8:15 PM.

217

218 Respectfully submitted,

219

Approved by the Planning Board –

220

221 R. Gary Bechtholdt II

222 Northbridge Town Planner

223

224 Cc: Town Clerk





**Presidential Farms -Open Space Lot(s) A & D  
RECREATION LOT (Parcel A) -Roosevelt Drive  
to include:**

- level grassed area
- off-street parking
- water service

*Improvements appear incomplete (photos taken 11/14/2018)*



**Presidential Farms -Open Space Lot(s) A & D**

**BIKE TRAIL & WALKING PATH (Parcel D) -Roosevelt Drive & Adam Circle**

to include:

- benches
- signage
- verification trail constructed per plan/approval

*Improvements appear incomplete (photos taken 11/14/2018)*

## Gary Bechtholdt

---

**From:** Gary Bechtholdt  
**Sent:** Friday, November 09, 2018 1:00 PM  
**To:** 'Truex, Donna M.'  
**Cc:** Barbara Kinney  
**Subject:** RE: Presidential Farms Phase V release and Walking Trails/Bike Path

Donna:

Thanks for the detailed email -helps to review/understand overall status.

Required improvements associated with Phase V -lot release (formerly phase iv lot release) includes completion of Parcel A (Open Space recreation area) & Parcel D (Open Space bike & walking paths)

It does not appear improvements to Parcel A have been completed at this time -to include a grassed area, off-street parking and water service.

It does not appear improvements to Parcel D have been completed at this time -to include signage and benches, additionally confirmation that the walking path has been prepped & installed according to the plan.

The Planning office has encouraged Planning Board members to review the site as part of its consideration.

Metacomet Land Trust has expressed an interest in the open space parcels -something the Developer should consider.

It is my understanding Town Counsel is not in favor of the Trust created for the purpose of overseeing permeant preservation of the open space.

I believe the other open space parcels (Parcel B-1) has an Agricultural Restriction -which may be different than a Preservation Restriction.

Nonetheless, Town Counsel is advising the Planning Board not accept the Trust currently identified for Parcel(s) A & D.

This matter shall be included on the November 27, 2018 Planning Board agenda.

I hope you find this information helpful.

Thanks & take care,

-Gary

---

R. Gary Bechtholdt II  
Northbridge Town Planner

COMMUNITY PLANNING & DEVELOPMENT  
Aldrich School -Town Hall Annex  
14 Hill Street (508) 234-2447

Northbridge Memorial Town Hall

**From:** Truex, Donna M. <DTruex@bowditch.com>  
**Sent:** Friday, November 09, 2018 12:21 PM  
**To:** Gary Bechtholdt <gbechtholdt@northbridgemass.org>  
**Cc:** Barbara Kinney <bkinney@northbridgemass.org>  
**Subject:** Presidential Farms Phase V release and Walking Trails/Bike Path

Hi Gary, back in August we had submitted the attached letter and proposed Form K and were scheduled for the August 14<sup>th</sup> meeting. This was postponed, however, to allow David Brossi to complete the open space work, which was not complete at that time. David has informed me that his work as required is done except for hanging the signs, but Barbara's email below indicates that you don't think it is done. Can you let us know what else you think is required to complete? I know the board had a question about the open space, but our options were limited as the town didn't want to accept the land and MetaComet Land Trust never responded, so the property was put in trust, the same as was previously done for other open space and approved by the town. I believe a reading of the bylaws gives the owner, David Brossi, the option to choose the open space ownership and Mr. Brossi's preference would have been for the Conservation Commission accept it. Please let me know what is required to be done in order to accept the bond and obtain the releases. Thank you. Donna

**Donna M. Truex**

T 508-926-3472 | C 508-579-5744  
dtruex@bowditch.com | Bio | LinkedIn  
bowditch.com | MSI Global Alliance Member  
311 Main Street, Worcester, MA 01608

# BOWDITCH

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----- Forwarded message -----

**From:** Barbara Kinney <bkinney@northbridgemass.org>  
**Date:** Wed, Nov 7, 2018 at 4:13 PM  
**Subject:** RE: Walking Trails/Bike Path  
**To:** Jamie Bundtzen <jamie@brossirealty.com>

Jamie:

I spoke with Gary and he said you need to write a letter to the Planning Board requesting that the bond for Phase V Presidential Farms be established and that you are requesting lot release for which specific lots. Once this is received, we will put you on the next available Planning Board agenda. The next meeting after our November 13<sup>th</sup> meeting is November 27, 2018. Also, a reminder that the lot release(s) are subject to the completion of the open space parcels.

Please provide us with a letter detailing the status of the open space parcels. Gary walked the trails and visited the open space parcel on Roosevelt Drive. It does not appear that they are complete. There is also a question relative to the entity for the open space. We will need to know the entity and status that will hold the CR on the property. This will need to be resolved with the Planning Board.

Barbara A. Kinney

Planning / Conservation

Administrative Assistant

**From:** Jamie Bundtzen [mailto:[jamie@brossirealty.com](mailto:jamie@brossirealty.com)]

**Sent:** Wednesday, November 07, 2018 12:35 PM

**To:** Barbara Kinney <[bkinney@northbridgemass.org](mailto:bkinney@northbridgemass.org)>

**Subject:** Walking Trails/Bike Path

Hey Barbara,

Question for you (and/or Gary). Can you tell me what exactly you still need for us to be put on the agenda and get this squared away so we can get our releases? Are you waiting on something specifically? I was told we were all set and ready to go but clearly I'm missing something. I'm just getting more and more concerned because I have four sets of buyers ready to go under contract but I obviously can't do anything until I know when we can physically start building.

Thanks (in advance) for your help Barbara. I really appreciate it.

Take care,

Jamie

--

Jamie Bundtzen

**Donna M. Truex**  
Direct telephone: 508-926-3472  
Direct facsimile: 508-929-3190  
Email: dtruex@bowditch.com

August 9, 2018

***VIA EMAIL AND FIRST CLASS MAIL***

Mr. R. Gary Bechtholdt II  
Town Planner  
Northbridge Community Planning & Development  
7 Main Street  
Whitinsville, MA 01588

***Re: Presidential Farms, Phase V - Roosevelt Drive from Lincoln  
Circle to Sta. 0+00 (end of cul-de-sac), Northbridge,  
Massachusetts***

Dear Mr. Bechtholdt:

This office represents Presidential Farms, Inc. in connection with its development of the Presidential Farm subdivision in Northbridge, Massachusetts. Presidential Farms, Inc. would like to request a release of the Covenant for the fourteen (14) lots on Roosevelt Drive shown as Lots 50-63 on the definitive subdivision plan recorded in the Worcester District Registry of Deeds in Plan Book 772, Plan 96. While that section of Roosevelt Drive from Lincoln Circle to Sta. 0+00 (end of the cul-de-sac) is not complete at this time, Presidential Farms, Inc. proposes to provide a Form K – Performance Secured by Lender Agreement in the form attached hereto to secure its performance to complete construction of Roosevelt Drive in the amount and in accordance with the Engineer's Construction Estimate issued by JH Engineering Group dated July 23, 2018 and schedule attached hereto. A fully signed Form K will be provided to your office once this request is approved by the Planning Board.

Would you please place this request on the agenda for the next meeting of the Northbridge Planning Board?

If you should have any questions or require anything further in the interim, please do not hesitate to contact me.

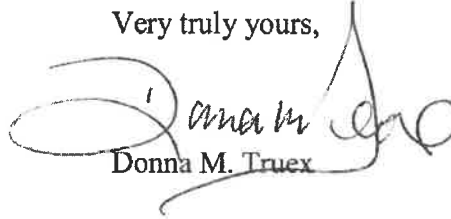
BOWDITCH

August 9, 2018

Page 2

Thank you.

Very truly yours,

A handwritten signature in black ink, appearing to read "Donna M. Truex". The signature is fluid and cursive, with a large initial "D" and "T".

Donna M. Truex

DMT:blb

Enclosures

cc: David W. Bossi

James D. Hanrahan, Esq.

NORTHBRIDGE PLANNING BOARD

FORM K

PERFORMANCE SECURED  
BY LENDERS AGREEMENT



August \_\_\_\_\_, 2018

Northbridge, Massachusetts

Applicant: Presidential Farms, Inc. - David W. Brossi, President and Treasurer

Address: 971 Concord Street, Framingham, MA

AGREEMENT made this date between the Town of Northbridge and the applicant named above, hereinafter referred to as "the applicant" and the bank that has the first mortgage which is named Webster Five Cents Savings Bank and located at 100 Front St., Suite 1900, Worcester, MA 01608 hereinafter referred to as "the lender", to secure construction of ways and installation of municipal services in the subdivision of land shown on a plan entitled Presidential Farms, A Flexible Development in Northbridge, MA dated July 27, 1999, owned by Presidential Farms, Inc. address 971 Concord St., Framingham, MA, land located off Hill Street and Sutton Street in Northbridge and showing 105 proposed lots.

KNOWN ALL MEN by these presents that the applicant has recorded a first mortgage with the lender covering Presidential Farms – Phase V (designate area of plan that is covered under first mortgage) as shown on the above referenced plan as security for the payment of a certain note in the principal sum of \$191,095.50 dollars, and that the applicant and lender hereby bind and obligate themselves, their, or its executors, administrators, devisees, heirs, successors and assigns jointly and severally to the Town of Northbridge, a Massachusetts municipal corporation, acting through its Planning Board, in the sum of \$191,095.50 dollars, and has secured this obligation by the lender retaining said sum of money of said principal sum otherwise due the applicant to insure the performance by the applicant of all covenants, conditions, agreements, terms and provisions contained in the following:

1. Application for Approval Definitive Plan (Form C), dated September 16, 1999
2. The subdivision control law and the Planning Board's Rules and Regulations governing this subdivision and dated July 27, 1999
3. Conditions included in the Certificate of Approval issued by the Planning Board and dated February 14, 2000
4. The definitive plan as qualified by the Certificate of Approval; and
5. Other documents specifying construction or installation to be completed, namely; (specify other documents, if any, and list lots secured if only a part of the subdivision is secured by a deposit of money) JH Engineering Group report dated July 23, 2018 with construction estimate and as otherwise required by the definitive subdivision approval. Lots 50-63 shown on plan recorded in the Worcester District Registry of Deeds in Plan Book 772, Plan 96.

This agreement shall remain in full force and effect until the applicant has fully and satisfactorily performed all obligations or has elected to provide another method of securing performance as provided in M.G.L, Chapter 41, § 81-U.

Upon completion by the applicant of all obligations as specified herein, on or before September 30, 2020 or such later date as may be specified by vote of the Planning Board with a written concurrence of the applicant, the interest of the Town of Northbridge in such funds retained by the lenders shall be



**NORTHBRIDGE PLANNING BOARD**

released, that portion of the agreement covering a specific stage of work shall become void, and the lender may disburse such funds, which have been held as security for a specific stage of work, to the applicant. In the event the applicant should fail to complete the construction of ways and installation of municipal services as specified in this agreement and within the time herein specified, any funds remaining undisbursed shall be made available in whole, or in part, by the lender to the Planning Board for the benefit of the Town of Northbridge to the extent of the reasonable cost to the Town of completing such construction or installation as specified in this agreement. Any unused portion of such funds will be released by the Planning Board and may be disbursed by the lender to the applicant upon completion of the work by the Town of Northbridge.

The lender hereby agrees that none of the funds retained as security, as specified herein, shall be disbursed to the applicant without prior written release of said funds by the Planning Board.

Any amendments to this agreement and/or to the aforesaid security shall be agreed upon in writing by all parties to this agreement.

IN WITNESS THEREOF we have hereunto set our hands and seals this \_\_\_\_\_ of August, 2018

Presidential Farms, Inc.

\_\_\_\_\_  
Signature of Applicant – David W. Brossi, President

& Treasurer

Webster Five Cents Savings Bank

\_\_\_\_\_  
Signature of Authorized Rep. of Lender  
Louis Corapi, Senior Vice President

\_\_\_\_\_  
Acceptance by a Majority of the  
Northbridge Planning Board

**THE COMMONWEALTH OF MASSACHUSETTS**

Worcester County, \_\_\_\_\_, 2018

Then personally appeared \_\_\_\_\_ one of the above named members of the Planning Board of Northbridge, Massachusetts and acknowledged the foregoing instrument to be their free act and deed.

\_\_\_\_\_  
Signature of Notary Public

My Commission expires: \_\_\_\_\_

**THE COMMONWEALTH OF MASSACHUSETTS**

Worcester County,

\_\_\_\_\_, 2018

Then personally appeared before me David W. Brossi, President and Treasurer of Presidential Farms, Inc. and provided to me through satisfactory evidence, which was a Massachusetts driver's license, to be the person whose name is signed on the preceding document and acknowledged to me that he signed the foregoing instrument as his free act and deed for its stated purpose.

\_\_\_\_\_  
Signature of Notary Public

My Commission expires: \_\_\_\_\_

**THE COMMONWEALTH OF MASSACHUSETTS**

Worcester County,

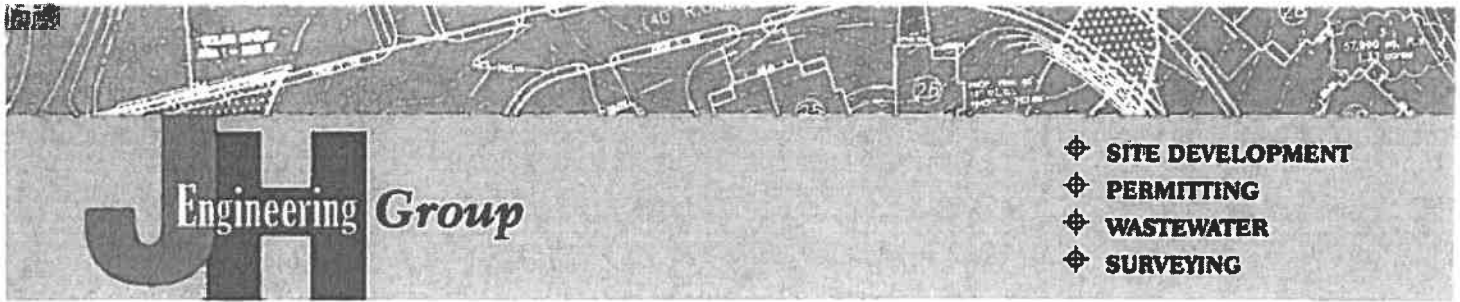
\_\_\_\_\_, 2018

Then personally appeared before me Louis Corapi, Senior Vice President of Webster Five Cents Savings Bank and provided to me through satisfactory evidence, which was a Massachusetts driver's license, to be the person whose name is signed on the preceding document and acknowledged to me that he signed the foregoing instrument as his free act and deed for its stated purpose.

\_\_\_\_\_  
Signature of Notary Public

My Commission expires: \_\_\_\_\_

Duplicate Copy Sent to:  
Applicant  
Lender  
Town Clerk  
Town Treasurer



July 23, 2018

R. Gary Bechtholdt II, Town Planner  
Town of Northbridge  
Community Planning & Development  
7 Main Street  
Whitinsville, MA 01588

**Subject: Presidential Farms  
Phase V  
Engineer's Construction Estimate**

**JHEG Job #: C0034-11**

Dear Gary:

Per the request of the Northbridge Planning Board, JH Engineering Group, LLC (JHEG) has calculated a construction estimate for Phase of Presidential Farms subdivision. Phase V consists of the construction of Roosevelt Drive from Lincoln Circle (Sta. 7+91 ) to Sta. 0+00 (end of cul-de-sac). The estimate is based upon a site visit on July 3, 2018.

The estimate is based upon the following:

1. Binder course pavement was placed on June 1, 2018.
2. We are not aware of any outstanding issues with the Whitinsville Water Company.
3. Per an e-mail dated July 9, 2018 from Mark Kuras, Town of Northbridge Sewer Department, there are no outstanding sanitary sewer items that should be added to the bond estimate.
4. As per the other sections within Presidential Farms, the vertical granite curbing is to be installed immediately upon completion of the binder course pavement.

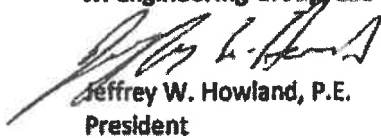
There has been a 15% administration and inflate on contingency added to the estimate total for inspections, contract administration, and inflation.

The purpose of the construction estimate is to provide the Northbridge Planning Board with an "Engineer's opinion" of the possible construction value for the project. Our estimate is based upon typical municipally bid public works projects subject to state prevailing wage rates. We use state prevailing wage rates, as the Town of Northbridge will be required to pay those prevailing wages should the Town ultimately become responsible for completing the project. The rates indicated within this estimate reflect current market conditions.

In addition, the construction estimate should not be construed to be a final punch list of items that are not complete. At each drawdown requested by the Developer, each of the line items will be evaluated for completeness, the unit price of each item will be reviewed to reflect the current cost of the item, and additional items will be added or deleted until the streets, etc. are accepted by Town Meeting vote for public streets or the final release by the Planning Board for private streets.

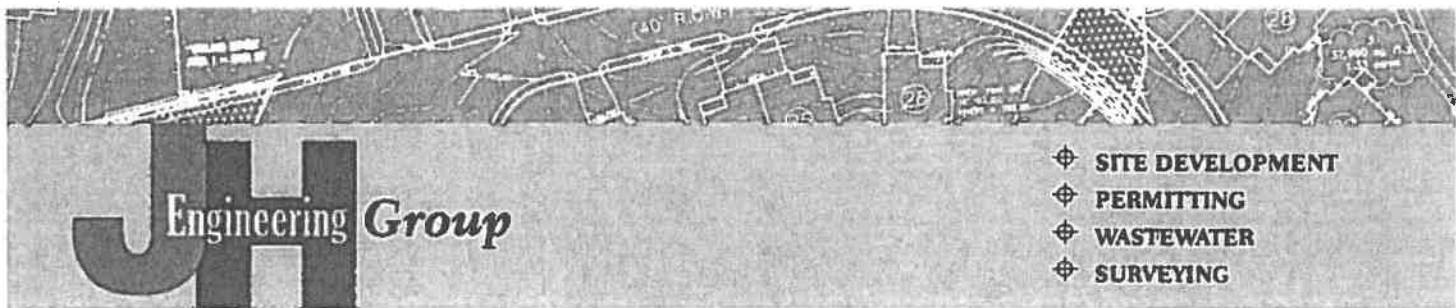
If you have any questions or comments, please feel free to contact me.

Sincerely,  
JH Engineering Group, LLC

A handwritten signature in black ink, appearing to read 'Jeffrey W. Howland', is written over the printed name.

Jeffrey W. Howland, P.E.  
President

cc: David Brossi



**PRESIDENTIAL FARMS  
PHASE IV  
Northbridge, MA**

**SITE DEVELOPMENT  
CONSTRUCTION BUDGET**

**PHASE: V (Roosevelt Drive Sta. 0+00 +/- to Sta. 7+95 +/-) Lots 50-63**

**DATE: July 23, 2018**

**JHEG PROJECT #: C0034-11**

CONSTRUCTION ITEM	UNITS	\$/UNIT	QUANTITY	VALUE	SCHEDULE
<b>RIGHT OF WAY</b>					
Top Course (1.5" Compacted Thk'ness)	Tons	\$ 100.00	225	\$22,500.00	6/30/2020
Prep Sidewalk Subgrade	Sq. Yds.	\$ 2.00	370	\$740.00	6/30/2020
8" Sidewalk Gravel	Cu. Yds.	\$ 30.00	85	\$2,550.00	4/30/2019
6" PCC Sidewalks and Driveways	Cu. Yds.	\$ 150.00	90	\$13,500.00	4/30/2019
Vertical Granite Curb	Lin. Ft.	\$ 30.00	1,780	\$53,400.00	4/30/2019
Street Lights	Each	\$ 2,000.00	1	\$2,000.00	4/30/2020
Street Trees (14 lots)	Each	\$ 400.00	28	\$11,200.00	4/30/2020
Island Landscaping	Allow	\$ 10,000.00	1	\$10,000.00	4/30/2020
Street Signs	Allow	\$ 250.00	1	\$250.00	Completed
Loam & Seeding	Sq. Yds.	\$ 5.00	3,100	\$15,500.00	4/30/2020
<b>Right of Way SubTotal:</b>				<b>\$131,640.00</b>	
<b>DRAINAGE</b>					
6" HDPE Subdrain	Lin. Ft.	\$28.00	760	\$21,280.00	Completed
Catchbasin Grease & Oil Traps	Each	\$300.00	6	\$1,800.00	4/30/2020
Raise Structures to Finish Grade	Each	\$300.00	11	\$3,300.00	4/30/2020
<b>Drainage SubTotal:</b>				<b>\$26,380.00</b>	
<b>SANITARY SEWER</b>					
Install Brick Inverts	Each	\$300.00	4	\$1,200.00	Completed
Raise Structures to Finish Grade	Each	\$300.00	4	\$1,200.00	4/30/2020
<b>Sanitary Sewer SubTotal:</b>				<b>\$2,400.00</b>	

<b>MISCELLANEOUS</b>					
Granite Bounds	Each	\$300.00	10	\$3,000.00	9/30/2020
As-Built Plans	Sheet	\$1,500.00	1	\$1,500.00	9/30/2020
Road Acceptance Plan/Legal Descriptions	Sheet	\$1,250.00	1	\$1,250.00	9/30/2020
<b>Miscellaneous SubTotal:</b>				<b>\$5,750.00</b>	
<b>SubTotal:</b>				<b>\$166,170.00</b>	
<b>15% Contingency/Inflation/Administration:</b>				<b>\$24,925.50</b>	
<b>TOTAL:</b>				<b>\$191,095.50</b>	

# Worcester South District Registry of Deeds Electronically Recorded Document

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## Recording Information

Document Number	: 84263
Document Type	: TRUST
Recorded Date	: August 13, 2018
Recorded Time	: 11:44:47 AM
Recorded Book and Page	: 59248 / 137
Number of Pages(including cover sheet)	: 9
Receipt Number	: 1092805
Recording Fee	: \$225.00

Worcester South District Registry of Deeds  
Anthony J. Vigliotti, Register  
90 Front St  
Worcester, MA 01608  
(508) 798-7717

## PRESIDENTIAL FARMS LAND TRUST II

THIS TRUST AGREEMENT is made as of the 5<sup>th</sup> day of July, 2018, by David W. Brossi, with an address of 15 Juniper Lane, Grafton, Massachusetts (hereinafter the "Trustee"), who hereby declares and agrees that he has received this day from Presidential Farms, Inc. (hereinafter referred to as "Donor"), a Massachusetts corporation, the sum of Ten Dollars (\$10) and that he will hold and manage the same, and any additions to it, in trust, as follows:

### I. Name of Trust

This trust shall be called Presidential Farms Land Trust II (hereinafter referred to as this "Trust").

### II. Trust Property

The Trustees may receive and accept property, whether real, personal, or mixed, by way of gift, bequest, or devise, from any person, firm, trust or corporation, to be held, administered, and disposed of in accordance with and pursuant to the provisions of this Trust; but no gift, bequest or devise of any such property shall be received and accepted if it is conditioned or limited in such manner as to require the disposition of the income or its principal to any person or organization other than a "charitable organization" or for other than "charitable purposes" within the meaning of such terms as defined in Article III of this Trust, or as shall in the opinion of the Trustees, jeopardize the federal income tax exemption of this Trust pursuant to section 501(c)(3) of the Internal Revenue Code, or the corresponding section of any future federal tax code.

### III. Purpose of Trust

#### A. Use of Trust Property

The principal and income of all property received and accepted by the Trustees to be administered under this Trust shall be held in trust by them, and the Trustees may make payments or distributions from income or principal, or both, directly for such charitable purposes, within the meaning of that term as defined in Paragraph D, in such amounts and only for charitable purposes the principal purpose of which is the



conservation of open space, including, without limitation, for conservation, historic preservation and education, outdoor education, recreation, park purposes, agriculture, horticulture, and forestry use (collectively "Open Space Conservation Purposes") as the Trustees shall from time to time select and determine without making use of any other charitable organization; and the Trustees may make payments or distributions from income or principal, or both, to or for the use of such charitable organizations, within the meaning of that term as defined in Paragraph C, for such charitable purposes, within the meaning of that term as defined in Paragraph D. The Trustees may also make payments or distributions of all or any part of the income or principal to states, territories, or possessions of the United States, any political subdivision of any of the foregoing, or to the United States or the District of Columbia but only for charitable purposes within the meaning of that term as defined in Paragraph D, the principal purpose of which is Open Space Conservation Purposes. Income or principal derived from contributions by corporations shall be distributed by the Trustees for use solely within the United States or its possessions.

**B. Prohibited Uses of Trust Property**

No part of the net earnings of this Trust shall inure or be payable to or for the benefit of any private shareholder or individual, and no substantial part of the activities of this Trust shall be the carrying on of propaganda, or otherwise attempting, to influence legislation. No part of the activities of this Trust shall be the participation in, or intervention in (including the publishing or distributing of statements), any political campaign on behalf of or in opposition to any candidate for public office. Notwithstanding any other provision hereof, this Trust shall not conduct or carry on any activities not permitted to be conducted or carried on by an organization which is tax exempt or by an organization donations to which are deductible from taxable income to the extent allowed by the provisions of the Internal Revenue Code and other applicable legislation and regulations as they now exist or may hereafter be amended.

**C. Charitable Organizations**

In this Trust and in any amendments to it, reference to "charitable organizations" or "charitable organization" mean corporations, trusts, funds, foundations, or community chests created or organized in the United States or in any of its possessions, whether under the laws of the United States, any state or territory, the District of Columbia, or any possession of the United States, organized and operated exclusively for charitable purposes, no part of the net earnings of which inures or is payable to or for the benefit of any private shareholder or individual, and no substantial part of the activities of which is carrying on propaganda, or otherwise attempting to influence legislation, and which do not participate in or intervene in (including the publishing or distributing of statements) any political campaign on behalf of or in opposition to any candidate for public office. It is intended that the organization described in this Paragraph C shall be entitled to exemption from federal income tax under section 501(c)(3) of the Internal Revenue Code, or the corresponding section of any future federal tax code.

#### D. Charitable Purpose

In this Trust and in any amendments to it, the term “charitable purposes” shall be limited to and shall include only fostering and promoting, whether by loan, grant of funds or performance of service, research, education, and educational activities, the general advancement of economic development and other knowledge, and charitable or educational purposes within the meaning of those terms as used in section 501(c)(3) of the Internal Revenue Code, or the corresponding section of any future federal tax code, but only to such purposes as also constitute public charitable purposes under the laws of trusts of The Commonwealth of Massachusetts.

#### IV. Action by Trustees

This Trust shall initially have one (1) Trustee. At any time this Trust consists of only one (1) Trustee, any reference to “Trustees” in this Trust shall be interpreted to mean the sole Trustee. In the event there are two Trustees, ANY ONE TRUSTEE may execute any and all instruments and certificates necessary to carry out the provisions of this Trust. In the event there are more than two Trustees, ANY TWO TRUSTEES, except as otherwise provided herein, may execute such instruments and certificates necessary to carry out the provisions of this Trust. All actions of the Trustees shall be taken either by resolution at a meeting or by written record without a meeting. The Trustees may appoint from among themselves a secretary, who shall cause a record to be kept of all actions of the Trustees. A copy of any resolution or action taken by the Trustees, certified by any one of the Trustees, may be relied upon by any person dealing with this Trust. No person shall be required to see to the application of any money, securities, or other property paid or delivered to the Trustees, or to inquire into any action, decision, or authority of the Trustees.

A Trustee may, by appropriate written instrument, delegate all or any part of his or her powers to another or others of the Trustees for such periods and subject to such conditions as such delegating Trustee may determine.

#### V. Trustees’ Powers

In the administration of this Trust, the Trustees shall have all powers and authority necessary or available to carry out the purposes of this Trust and, without limiting the generality of the foregoing, shall have the following powers and authority, all exercisable solely in the fiduciary capacity and all subject to the condition that no power or authority shall be exercised by the Trustees in any manner or for any purpose whatsoever that is not consistent with and in furtherance of the charitable purposes of this Trust as specified in Article III:

A. To receive the income, profits, rents, and proceeds of the trust property, and to collect and receipt for the same.

B. To pay all administration expenses of this Trust and any taxes imposed upon it, and to settle, compromise, or submit to arbitration, any claims, mortgages, debts,

or damages, due or owing to or from this Trust, to commence or defend suits or legal proceedings, and to represent this Trust in all suits or legal proceedings.

C. To retain any property, real or personal, which they may receive as Trustees, even though such property (by reason of its character, amount, proportion to the total trust property, or otherwise) would not be considered appropriate for a fiduciary apart from this provision.

D. To sell, lease, exchange, give options upon, partition, convey or otherwise dispose of any property which they may hold from time to time, at public or at private sale or otherwise, for cash or other consideration or on credit, and upon such terms and for such consideration as they shall think fit, and to transfer and convey the same free of all trust; and to execute, acknowledge and deliver deeds, notes, mortgages, transfers, leases, options, contracts and other instruments whether or not the terms or effect thereof may extend beyond the duration of this Trust.

E. To manage real property in such manner as they shall deem best including authority to erect, alter or demolish buildings, to improve, repair, insure, subdivide and vacate any of said property; to adjust boundaries, to dedicate streets or other ways for public use without compensation; to impose such easements, restrictions, conditions, stipulations and covenants as they may see fit.

F. To invest and reinvest the trust property from time to time in any property, real or personal, including (without limiting the generality of the foregoing language) securities of domestic and foreign corporations and investment trusts, collective investment funds, common trust funds, bonds, notes, preferred stocks, common stocks, mortgages, mortgage participations, life insurance policies, savings bank accounts and certificates of deposit, even though such investment (by reason of its character, amount, proportion to the total trust property, or otherwise) would not be considered appropriate for a fiduciary apart from this provision, and even though such investment causes a greater proportion of the total trust property to be invested in investments of one type or of one company than would be considered appropriate for a fiduciary apart from this provision. No principal or income, however, shall be loaned, directly and indirectly, to any trustee or to anyone else, corporate or otherwise, who has at any time made a contribution to this Trust, not to anyone except on the basis of an adequate interest charge and with adequate security.

G. To employ such brokers, banks, custodians, investment counsel, attorneys, and other agents, and to delegate to them such of the duties, rights and powers of the Trustees (including among others rights to vote on shares of stock held by the Trustees) for such periods as they think fit. The Trustees may keep any of the trust property in the name of a nominee without mention of the trust in any instrument of ownership.

H. To participate in any merger, voting trust, reorganization or consolidation affecting the trust property, and in connection therewith to take any legal action which the Trustees could take if they owned in their individual capacity the securities concerned.

I. To exchange property for other property; to determine (within the limitations of Article III above) who are the distributees hereunder and the proportions in which they shall take.

J. To borrow money from any person, firm or corporation for the purpose of protecting, preserving or improving the trust property, to execute promissory notes or other obligations for amounts so borrowed, and to secure the payment of such amounts by mortgage or pledge of any trust property upon such terms and conditions as the Trustees may determine.

K. To determine whether and to what extent receipts should be deemed income or principal, whether and to what extent expenditures should be charged against income or principal and what other adjustments should be made between income and principal by following generally accepted trust accounting principles as the same shall exist from time to time.

L. In determining net income, to set aside and keep on hand whatever reserves they shall deem wise for taxes payable by them, for expenses, present or future, to provide for assessments, insurance, repairs, betterments, depreciation, depletion, obsolescence, general maintenance and such other purposes in such amounts as they shall deem advisable.

M. Any other provisions of this Trust notwithstanding, the Trustees shall distribute its income for each tax year at a time and in a manner as not to become subject to the tax on undistributed income imposed by section 4942 of the Internal Revenue Code, or the corresponding section of any future federal tax code. Any other provisions of this Trust notwithstanding, the Trustees shall not engage in any act of self-dealing as defined in Section 4941(d) of the Internal Revenue Code, or corresponding section of any future federal tax code; nor retain any excess business holdings as defined in Section 4943(c) of the Internal Revenue Code, or corresponding section of any future federal tax code; nor make any investments in such manner as to incur tax liability under Section 4944 of the Internal Revenue Code, or corresponding section of any future federal tax code; nor make any taxable expenditures as defined in Section 4945(d) of the Internal Revenue Code, or corresponding section of any future federal tax code.

#### VI. Trustees' Liability

No Trustee shall be answerable for loss in investments made in good faith. No Trustee shall be liable for the acts or omissions of any other Trustee, or of any accountant, agent or counsel or custodian selected with reasonable care. Each Trustee shall be fully protected in acting upon any instrument, certificate, or paper, believed by him to be genuine and to be signed or presented by the proper person or persons, and no Trustee shall be under any duty to make any investigation or inquiry as to any statement contained in any such writing but may accept the same as conclusive evidence of the truth or accuracy of the statements therein contained.

## VII. Trustees' Bond and Compensation

None of the Trustees shall be required to furnish any bond or surety. The Trustees serving under this Trust are authorized to pay to themselves amounts for reasonable expenses incurred and reasonable compensation for services rendered in the administration of this Trust, but in no event shall any Trustee who has made a contribution to this Trust ever receive any compensation thereafter.

## VIII. Successor Trustees

Any Trustee may resign his office at any time without leave of court upon thirty (30) days' written notice addressed to the Donor. The resignation or removal of a Trustee and the appointment of a successor Trustee shall be made by an instrument in writing by the Donor or any current Trustee. Every successor Trustee shall have the same powers and duties as those conferred upon the Trustees named in this Trust, provided in each case that a certificate signed by any Trustee naming the Trustee or Trustees appointed or removed and, in the case of an appointment, the acceptance in writing by the Trustee or Trustees appointed, shall be recorded in the Registry of Deeds. Upon the recording of such instrument, the legal title to the trust estate shall, without the necessity of any conveyance, be vested in said succeeding or additional Trustee or Trustees, with all the rights, powers, authority and privileges as if named as an original Trustee hereunder. In the event of the death of a sole Trustee without prior appointment of a successor Trustee, the executor, administrator or other legal representative of the deceased sole Trustee's estate shall be appointed successor Trustee.

## IX. Amendment

This Trust may be amended or modified at any time or times by written instrument or instruments signed and sealed by the Trustees, and acknowledged by any of the Trustees, whenever necessary or advisable for the convenient or efficient administration of this Trust or to enable the Trustees to carry out the purposes of this Trust more effectively, provided that no amendment shall authorize the Trustees to conduct the affairs of this Trust in any manner or for any purposes contrary to the provisions of section 501(c)(3) of the Internal Revenue Code, or the corresponding section of any future federal tax code. An amendment of the provisions of this Article X (or any amendment to it) shall be valid only if and to the extent that such amendment further restricts the Trustees' amending power. All instruments amending this Trust shall be noted upon or kept attached to the executed original of this Trust held by the Trustees.

## X. Irrevocability and Termination

This Trust shall be irrevocable. This Trust shall continue forever unless terminated at any time by action of the Trustees in their sole discretion. On such termination, assets shall be distributed for one or more exempt purposes within the meaning of section 501(c)(3) of the Internal Revenue Code, or the corresponding section of any future federal tax code, or shall be distributed to the federal government, or to a state or local

government, for public purposes. Provided further, upon dissolution or otherwise, no part of the principal and income of the trust may be used for the general purposes of the Donor.

XI. Certificates of Authority

Any person may rely on a copy, certified by a notary public, of the executed original of this Trust Agreement held by the Trustees, and of any of the notations on it and writings attached to it, as fully as he might rely on the original documents themselves. Any such person may rely fully on any statements of fact certified by anyone who appears from such original documents or from such certified copy to be a Trustee under this Trust Agreement. No one dealing with the Trustees need inquire concerning the validity of anything the Trustees purport to do. No one dealing with the Trustees need see to the application of anything paid or transferred to or upon the order of the Trustees of the trust.

XII. Governing Law

This Trust Agreement is executed and delivered in The Commonwealth of Massachusetts and it shall be governed by, construed and administered in accordance with its laws.

IN WITNESS WHEREOF this Trust Agreement has been executed by the Donor and by each of the Trustees named herein as of the day and year first above written to this and one or more counterparts thereof.

PRESIDENTIAL FARMS, INC.

By: 

Printed Name: David W. Bossi

Its: President and Treasurer


  
David W. Bossi, Trustee

## THE COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

On this 5<sup>th</sup> day of July, 2018, before me, the undersigned notary public, personally appeared David W. Bossi, proved to me through satisfactory evidence of identification, which was ☐ photographic identification with signature issued by a federal or state governmental agency, ☐ oath or affirmation of a credible witness, ☒ personal knowledge of the undersigned, to be the person whose name is signed on the preceding or attached document(s), and acknowledged to me that he/she signed it voluntarily for its stated purpose.

(official seal)


Loretta J. Tenenholz  
 (type or print name) Notary Public  
 My commission expires:  LORETTA J. TENENHOLTZ  
 Notary Public  
 Commonwealth of Massachusetts  
 My Commission Expires July 4, 2019

## THE COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

On this 5<sup>th</sup> day of July, 2018, before me, the undersigned notary public, personally appeared David W. Bossi, Trustee proved to me through satisfactory evidence of identification, which was ☐ photographic identification with signature issued by a federal or state governmental agency, ☐ oath or affirmation of a credible witness, ☒ personal knowledge of the undersigned, to be the person whose name is signed on the preceding or attached document(s), and acknowledged to me that he/she signed it voluntarily for its stated purpose.

(official seal)

Loretta J. Tenenholz  
 (type or print name) Notary Public  
 My commission expires:  LORETTA J. TENENHOLTZ  
 Notary Public  
 Commonwealth of Massachusetts  
 My Commission Expires July 4, 2019

# Worcester South District Registry of Deeds Electronically Recorded Document

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## Recording Information

Document Number	: 84264
Document Type	: DEED
Recorded Date	: August 13, 2018
Recorded Time	: 11:44:47 AM
Recorded Book and Page	: 59248 / 146
Number of Pages(including cover sheet)	: 4
Receipt Number	: 1092805
Recording Fee (including excise)	: \$125.00

\*\*\*\*\*  
MASSACHUSETTS EXCISE TAX  
Worcester District ROD #20 001  
Date: 08/13/2018 11:44 AM  
Ctrl# Doc# 00084264  
Fee: \$.00 Cons: \$.00  
\*\*\*\*\*

Worcester South District Registry of Deeds  
Anthony J. Vigliotti, Register  
90 Front St  
Worcester, MA 01608  
(508) 798-7717



Property: Parcels A and D, Open Space, Roosevelt Drive, Northbridge, Massachusetts  
 Grantee Address: P.O. Box 3503, Framingham, MA 01705

### QUITCLAIM DEED

Presidential Farms, Inc., a Massachusetts corporation with a mailing address at 15 Juniper Lane, Grafton, Massachusetts ("Grantor"), for and in consideration of less than One Hundred Dollars (\$100.00), the receipt and sufficiency of which are hereby acknowledged (the consideration being less than \$100.00, no deed stamps are required under M.G.L. c. 64 D), grants and conveys to David W. Brossi, Trustee of the Presidential Farms Land Trust II, u/d/t dated July 5, 2018 ("Grantee") and recorded in the Worcester District Registry of Deeds (the "Registry") herewith,

with **QUITCLAIM COVENANTS**, the following:

That certain parcel of land with improvements thereon situated in the Town of Northbridge, Worcester County, Massachusetts, shown as "Open Space Parcel-A 1,045,302 sq.ft.+/-" and "Parcel "D" Recreation Area 113,872 s.f.+/-" (collectively, the "Property") on a plan entitled "Presidential Farms Definitive Subdivision Plan of Land in Northbridge, Massachusetts" prepared by Guerriere & Halnon, Inc., dated July 27, 1999 and last revised February 6, 2001, as recorded in the Registry in Plan Book 772, Plan 96 (the "Plan").

Being a portion of the premises conveyed to Grantor by a deed from White Development Corp. dated December 6, 2002 and recorded in the Registry in Book 28351, Page 20.

The conveyed premises are further subject to:

1. Easement to Worcester Suburban Electric Co., 80' wide and recorded May 4, 1937 in the Registry in Book 2693, Page 495, as same affects Parcel-A on the Plan.
2. Order of Taking and Petition by Northeastern Gas Transmission Company dated June 6, 1951 and recorded in the Registry in Book 3343, Page 351, as amended by partial release recorded in the Registry in Book 3541, Page 405. See also Amending Right of Way Agreements with Tennessee Gas

Pipeline Company dated June 23, 1992 and recorded in the Registry in Book 14416, Page 394 and dated February 7, 2000 and recorded in the Registry in Book 22395, Page 174, 178, and 182.

The Property is conveyed subject to the permanent restriction that the Property be preserved in perpetuity as "Open Space." The burden of this Restriction shall run with the Property and shall be binding upon all future owners of any interest therein. If any section or provision of this Restriction is deemed ambiguous, it shall be interpreted in accordance with the policy and provisions expressed in M.G.L. c 184, Sections 31 through 33, as amended.

The Property is conveyed together with the benefit of and subject to all easements, restrictions, liens and encumbrances of record to the extent the same are in full force and effect.

This conveyance does not constitute a sale of all or substantially all of the assets of the Grantor located in The Commonwealth of Massachusetts.

[SIGNATURE PAGE TO FOLLOW]

EXECUTED as an instrument under seal this 5<sup>th</sup> day of July, 2018..

PRESIDENTIAL FARMS, INC.

By: [Signature]  
Name: David W. Bossi  
Its: President and Treasurer

THE COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

On this 5<sup>th</sup> day of July, 2018, before me, the undersigned notary public, personally appeared David W. Bossi, proved to me through satisfactory evidence of identification, which was ☐ photographic identification with signature issued by a federal or state governmental agency, ☐ oath or affirmation of a credible witness, ☒ personal knowledge of the undersigned, to be the person whose name is signed on the preceding or attached document(s), and acknowledged to me that he signed it voluntarily for its stated purpose as President and Treasurer of Presidential Farms, Inc.

[Signature] (official seal)  
Notary Public  
My commission  
expires:



LORETTA J. TENENHOLTZ  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires July 4, 2019



2017 00016887

Bk: 56746 Pg: 113

Page: 1 of 2 02/15/2017 11:32 AM WD

PROPERTY ADDRESS: ROOSEVELT DRIVE, NORTHBRIDGE, MASSACHUSETTS

### RELEASE OF RIGHTS OF WITH RESPECT TO ACQUISITION OF PROPERTY

THE TOWN OF NORTHBRIDGE, hereby waives and releases its right to the acquisition of property with respect to that certain portion of land labeled and shown as Parcels A and D on that certain subdivision plan entitled "Presidential Farms' Definitive Subdivision Plan of Land in Northbridge, Mass." prepared by Guerriere & Halnon, Inc. dated July 27, 1999 and recorded in the Worcester District Registry of Deeds in Plan Book 772, Plan 96 ("Subdivision Plan"), and assents to the conveyance of Parcels A and D by Presidential Farms, Inc. to another appropriate entity as identified in Section 173-86(D) of the Northbridge Zoning By-Laws.

The right to the acquisition of property is set forth in the Subdivision Plan as one of the "Conditions of Approval".

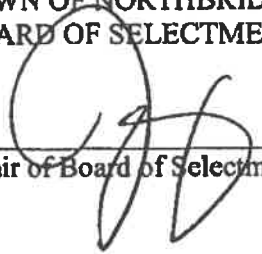
Upon execution and recording of this Release, the right to the acquisition of property is hereby terminated.

[Signature Page to Follow.]

*hco*  
*h2*

Executed as a sealed instrument this 23<sup>rd</sup> day of January, 2017.

TOWN OF NORTHBRIDGE  
BOARD OF SELECTMEN

  
Chair of Board of Selectmen

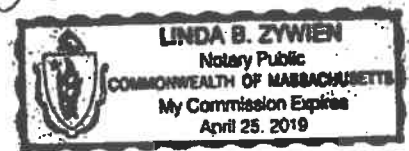
THE COMMONWEALTH OF MASSACHUSETTS

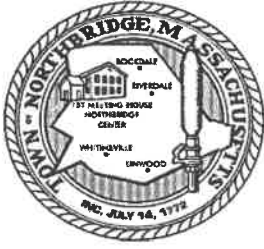
Worcester, ss.

On this 23<sup>rd</sup> day of January, 2017, before me, the undersigned notary public, personally appeared James R. Marzec, proved to me through satisfactory evidence of identification, which was ☐ photographic identification with signature issued by a federal or state governmental agency, ☐ oath or affirmation of a credible witness, ☒ personal knowledge of the undersigned, to be the person whose name is signed on the preceding document, and who swore or affirmed to me that the contents are truthful and accurate to the best of his knowledge and belief as Chair of the Town of Northbridge Board of Selectmen.

(official seal)

  
Notary Public:  
Commission Expires:





TOWN OF NORTHBRIDGE, MASSACHUSETTS

## COMMUNITY PLANNING & DEVELOPMENT

R. Gary Bechtholdt II, Town Planner

7 Main Street Whitinsville, MA 01588

Phone: (508) 234.2447 Fax: (508) 234.0814

gbechtholdt@northbridgemass.org

### MEMORANDUM

Date: August 01, 2018

To: David Brossi, Presidential Farms Inc.

From: R. Gary Bechtholdt II, Town Planner

RE: **PRESIDENTIAL FARMS**

Phase V -Surety & Lot Release Request

Arrangements have been made for the Planning Board to consider Presidential Farms -Phase V Surety and Lot Release requests at its meeting of Tuesday, August 14, 2018.

Please note, as part of such request a comprehensive construction schedule detailing planned completion of remaining improvements shall be provided in advance of this meeting date.

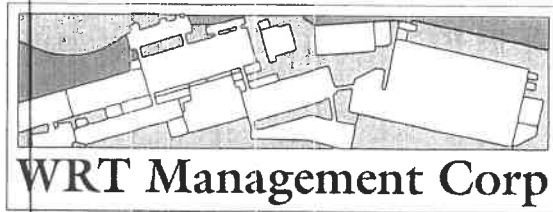
Please also note, it is my understanding the release of lots associated with Phase V is contingent upon completion of the walking trail & bike path. It is my understanding MetaComet Land Trust conducted a site visit earlier this summer -and may be interested in holding the CR for the properties.

The PB will review the status of the bike path & walking trails, as well as status of open space conveyance to a separate entity.

If you should require additional information or have any questions, please contact the Planning office.

Cc: /File

Arcade Realty  
Blackcomb Associates  
Curtis Mill Realty  
East Windsor Lmt'd.  
Fire Station Investment Trust  
Janelon Associates  
Keystone Development Corp  
LRT Realty Corp  
Newmarket Associates  
Palmer Redevelopment LLC  
The Shop at Whitinsville  
Weir Redevelopment  
Whitinsville Land Associates  
Whitinsville Redevelopment Trust  
35 North Street LLC  
60 Webster Place  
960 Mass. Ave Lmt'd. Partnership  
705 Plantation Street  
WRT 180 Shrewsbury Street



COMMERCIAL • INDUSTRIAL • RESIDENTIAL

NOV 14 2018  
Rack

November 7, 2018

Mr. R. Gary Bechtholdt II  
Northbridge Town Planner  
14 Hill Street  
Northbridge Memorial Town Hall  
7 Main Street, Whitinsville MA 01588

Dear Mr. Bechtholdt:

I am contacting you to request the opportunity to meet with the Planning Board on an informal basis to discuss the feasibility of locating a cannabis cultivation and processing operation at our mill complex at 1 Main Street, Whitinsville. These operations will not involve any retail or dispensary activities.

Thank you for your help and we look forward to working with you and the members of the Planning Board.

Sincerely,

A handwritten signature in black ink, appearing to read "Richard Olstein", is written over a horizontal line. The signature is stylized and cursive.

Richard Olstein

Whitinsville Office:  
One Main Street Whitinsville, Ma 01588  
Tel# (508)234-6301 Fax# (508)234-6367

Marlborough Office:  
91 Main Street, Suite #103  
Marlborough, Ma 01752  
Tel# (508) 229-7827 Fax# (508) 229-8034

100 Main Street, Suite 101C  
Whitinsville, MA 01588  
Phone: 508-234-6911

IMPACT Real Estate Development, LLC

November 8, 2018

Northbridge Planning Board  
14 Hill Street  
Whitinsville, MA 01588

Re: Moon Hill Estates Subdivision  
Planning Board fee

To whom it may concern

We plan to submit the Moon Hill Estates subdivision for Definitive Approval in the near future. I would like to make the request that the \$2000 plus \$200 per lot (with preliminary Plan) fee schedule be used (\$10,200.00), instead of the extra \$100 per lot that is required without preliminary plan. Reason being is that \$3,200.00 was previously paid and the plan, which hasn't change substantially, was reviewed.

Unfortunately, this review was during the recession. Previously down turns in the economy were short, but this one lasted a very long time. I even built a spec house in 2010 and it sat on the market for a year after completion and I sold it for much less than my 'breakeven' amount required to build the subdivision. Banks weren't even lending money for large projects. For economic reasons it would have been virtually impossible to proceed with construction of the subdivision at that time.

The economy has now improved enough to finish this process, but now I discover this 'discount' has an expiration date. At considerable expense, the plans have been tweaked to current bylaws and standards by Andrews Engineering, wetlands reflagged and delineated, etc. but it still essentially the same.

Sincerely,



Melody A. Nydam,  
Manager



## Gary Bechtholdt

---

**From:** Gary Bechtholdt  
**Sent:** Thursday, November 15, 2018 9:34 AM  
**To:** joemarinella@yahoo.com  
**Cc:** Brian J. Massey  
**Subject:** FW: The Camelot Phase 1B revised bond estimate  
**Attachments:** gb110918-Phase1B.est.pdf  
  
**Importance:** High

Joe:

Please find attached updated construction estimate for Camelot Phase 1B (Joseph Circle) prepared by JH Engineering Group.

This matter will need to be reviewed & voted on by the Planning Board -as Planning records do not show PB action for bond reduction request.

As you will recall the Board did vote to reduce the bond for Hemlock Estates -subject to JH Eng review of work completed and recalculation of remaining work.

However the Planning Board still needs to vote & authorize a reduction for Camelot.

Provided below is a summary breakdown of JH Eng construction budget estimate(s):

Camelot	Phase IA	\$110,578.25 -dated May 25, 2018 (unchanged)
	Phase IB	\$350,353.25 -dated May 25, 2018 \$307,688.25 -amended November 05, 2018

-the value held for the Sloped Granite Curb (\$3500 island) was removed; Waived by the Planning Board  
-the value held for the Vertical Granite Curb was reduced from \$66,500.00 to \$32,900.00; for work completed along Joseph Circle

Based upon the updated construction estimates prepared by JH Eng the performance bond held (\$445,937.13) may be reduced to \$418,266.50

Please provide the Planning Board with a letter requesting consideration of a bond reduction for the Camelot subdivision -arrangements shall be made for their 11/27 meeting.

-Gary

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R. Gary Bechtholdt II  
Northbridge Town Planner

COMMUNITY PLANNING & DEVELOPMENT  
Aldrich School -Town Hall Annex

November 9, 2018

R. Gary Bechtholdt II, Town Planner  
Town of Northbridge  
Community Planning & Development  
7 Main Street  
Whitinsville, MA 01588

**Subject:** The Camelot  
Phase 1B (formally Phase 2A)  
Engineer's Construction Estimate

**JHEG Job #:** C0034-1

Dear Gary:

Per the request of the Northbridge Planning Board, JH Engineering Group, LLC (JHEG) has calculated a construction estimate for Phase 1B (previously known as Phase 2A) of "The Camelot" subdivision. Phase 1B consists of the construction of Rebecca Road from Sta. 16+01 to Sta. 19+00 and Joseph Circle from Sta. 0+00 to Sta. 13+43 (end of cul-de-sac). The estimate is based upon the latest site visit on November 5, 2018.

The estimate has been revised as follows:

1. The limits of Phase 1B, previously known as Phase 2A, was revised by a plan prepared by Andrews Survey & Engineering, Inc. dated December 5, 2014. The Phase 1B has been extended to Sta. 13+43 (end of the cul-de-sac) on Joseph Circle at the request of Joe Marinella.
2. Binder course pavement was extended from Rebecca Road Sta. 15+70 in Phase 1A to Sta. 19+00 and Joseph Circle to Sta. 3+50. The paving operation occurred July 15, 2013. Binder course pavement was extended on Joseph Circle to Sta. 10+50 on November 18, 2014. Binder course pavement was further extended on Joseph Circle to Sta. 11+40 on October 9, 2015. Binder course pavement was further extended on Joseph Circle to Sta. 13+43 (end of the cul-de-sac) on September 27, 2016. The cul-de-sac aisle was paved previously at an unknown date and was not witnessed by our office.
3. Condition A.13 indicates that a concrete driveway apron between the road and sidewalk be installed.
4. The Detention Basin #5 line item has been partially constructed and is used as a sediment basin, however, the basin has not been finished per plan such as installing the outlet pipes, flared end sections and riprap on inlet pipes, and gabion forebay.

5. The gravel access road per Condition A.14 has not been installed.
6. Per memos dated February 13, 2014, December 8, 2014, and November 19, 2016 subdrains were recommended to be eliminated and therefore have been removed from the estimated.
7. The drainage pipe at the end of Joseph Circle cul-de-sac has been installed from DMH 29 to FE36, but the drain manhole DMH 29A has not been installed. The manhole cover on DMH29 has not been installed and debris and sediment have accumulated in the bottom of the manhole.
8. The binder course pavement has been cut in several locations for utility tie-ins and there are several locations (especially Joseph Circle) where the binder course paving is deteriorating. Due to the condition of the existing binder course pavement, a line item has been increased for pavement rehabilitation. Some repairs to the binder course pavement have occurred.
9. The vertical curb along the right side was installed on Rebecca Road from Sta. 16+01 to approximately Sta. 19+00 and on the left side of Rebecca Road from Sta. 16+01 to Sta. 18+50 (intersection with Joseph Circle). The installed curb on Rebecca Road has been backed with loam and seed. The newly installed curb has not been backed with loam and seed. Vertical granite curb has been installed on the right side of Joseph Circle from approximately Sta. 1+00 to the beginning of the cul-de-sac (Sta. 12+00+/-) and on the left side from the beginning of the cul-de-sac to about Sta. 11+00. Some of the curb has been backed with loam and seed, but a majority of the curb had not yet been backed.
10. The concrete sidewalk has been installed on the left side of Rebecca Road from Sta. 16+01 to Sta. 18+20. The grass strips have not been loamed and seeded.
11. Per a letter dated August 27, 2018 from the Planning Board, the Joseph Circle center island has been eliminated and therefore the sloped granite curb line item has been eliminated.
12. The water quality structures referenced have been approved for a supplier change, but the locations and individual structures invert and rim elevations have not been provided.
13. There are two sanitary manholes associated with the sewer force main along Joseph Circle. The manholes are an air release manhole and the other is a cleanout manhole. Currently the manholes are plated, and a line item has been added for the installation of frame and grates.
14. We recommend that the drainage system be TV' ed to verify the integrity of the installation. Some of the drainage system was installed many years ago and the newer system has seen significant sediment due to the lack of erosion control. Therefore, a line item has been added.

There has been a 15% administration and inflate on contingency added to the estimate total for inspections, contract administration, and inflation. The purpose of the construction estimate is to provide the Northbridge Planning Board with an "Engineer's opinion" of the possible construction value for the project. Our estimate is based upon typical municipally bid public works projects subject to state prevailing wage rates. We use state prevailing wage rates, as the Town of Northbridge will be

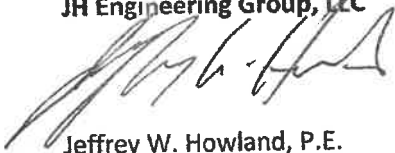
required to pay those prevailing wages should the Town ultimately become responsible for completing the project. The rates indicated within this estimate reflect current market conditions.

In addition, the construction estimate should not be construed to be a final punch list of items that are not complete. At each drawdown requested by the Developer, each of the line items will be evaluated for completeness, the unit price of each item will be reviewed to reflect the current cost of the item, and additional items will be added or deleted until the streets, etc. are accepted by Town Meeting vote for public streets or the final release by the Planning Board for private streets.

If you have any questions or comments, please feel free to contact me.

Sincerely,

**JH Engineering Group, LLC**

A handwritten signature in dark ink, appearing to read 'Jeffrey W. Howland', is written over the printed name.

Jeffrey W. Howland, P.E.  
President

cc: Joe Marinella

THE CAMELOT  
 PHASE 1B  
 Northbridge, MA

SITE DEVELOPMENT  
 DRAFT CONSTRUCTION BUDGET

PHASE: 1B (Rebecca Road Sta. 16+01 to Sta. 19+00 and Joseph Circle Sta. 0+00 to Sta. 13+32)

DATE: August 8, 2013, amended thru November 5, 2018

JHEG PROJECT #: C0034-1

*\*eliminated island \$3,500.-*

CONSTRUCTION ITEM	UNITS	\$/UNIT	QUANTITY	VALUE
<b>RIGHT OF WAY</b>				
Binder Pavement Reclamation	Sq. Yds.	\$ 10.00	2,000	\$20,000.00
Top Course (2" Compacted Thk'ness)	Tons	\$ 90.00	705	\$63,450.00
Prep Sidewalk Subgrade	Sq. Yds.	\$ 2.00	780	\$1,560.00
8" Sidewalk Gravel	Cu. Yds.	\$ 30.00	185	\$5,550.00
4" PCC Sidewalks and Driveways	Cu. Yds.	\$ 150.00	95	\$14,250.00
Vertical Granite Curb	Lin. Ft.	\$ 28.00	1,175	\$32,900.00
Street Lights	Each	\$ 1,500.00	3	\$4,500.00
Street Trees	Each	\$ 375.00	45	\$16,875.00
Street Signs	Allow	\$ 500.00	1	\$500.00
Guard Rail (Wood)	Lin. Ft.	\$ 20.00	280	\$5,600.00
Loam & Seeding	Sq. Yds.	\$ 5.00	3,400	\$17,000.00
<b>Right of Way SubTotal:</b>				<b>\$182,185.00</b>
<b>DRAINAGE</b>				
12" HDPE	Lin. Ft.	\$30.00	40	\$1,200.00
18" RCP	Lin. Ft.	\$40.00	58	\$2,320.00
18" RCP Flared End Section	Each	\$350.00	1	\$350.00
24" HDPE Flared End Section	Each	\$300.00	1	\$300.00
Drain Manhole (DMH 29A)	Each	\$3,000.00	1	\$3,000.00
Steel Animal/Child Guard	Each	\$750.00	2	\$1,500.00
Raise Structures to Finish Grade	Each	\$300.00	22	\$6,600.00
STC 450i Stormceptor (Water Quality)	Each	\$12,000.00	2	\$24,000.00
Gabion Check Dam	Lin. Ft.	\$50.00	140	\$7,000.00

*\$66,500.-*  
*\$6,900.-*

Gravel Access Road	Sq. Yds.	\$12.00	100	\$1,200.00
Detention Basin #5 (includes riprap)	Allow	\$10,000.00	1	\$10,000.00
TV'ing Drainage System	Allow	\$1,500.00	1	\$1,500.00
<b>Drainage SubTotal:</b>				<b>\$58,970.00</b>
<b>SANITARY SEWER</b>				
Raise Structures to Finish Grade	Each	\$300.00	9	\$2,700.00
Force Main Sewer Frame & Grate	Each	\$300.00	2	\$600.00
<b>Sanitary Sewer SubTotal:</b>				<b>\$3,300.00</b>
<b>MISCELLANEOUS</b>				
Silt Fence/Haybales, Maintain	Lin. Ft.	\$3.00	1650	\$4,950.00
Granite Bounds	Each	\$300.00	33	\$9,900.00
As-Built Plans	Sheet	\$1,500.00	3	\$4,500.00
Road Acceptance Plans	Sheet	\$1,250.00	3	\$3,750.00
<b>Miscellaneous SubTotal:</b>				<b>\$23,100.00</b>
<b>SubTotal:</b>				<b>\$267,555.00</b>
<b>15% Contingency/Inflation/Administration:</b>				<b>\$40,133.25</b>
<b>TOTAL:</b>				<b>\$307,688.25</b>

Phase 1D 05/25/18 \$350,353.25

Phase 1A 05/25/18 \$110,578.25

[Holding \$445,937.25]

## Gary Bechtholdt

---

**From:** Gary Bechtholdt  
**Sent:** Tuesday, November 20, 2018 9:10 AM  
**To:** 'Brian J. Massey'  
**Subject:** RE: Hemlock Estates (Inspection Reports)  
**Attachments:** SKM\_22718112010060.pdf

Brian:  
Please see attached (PDF) -copy of (2017) letter the Sewer Superintendent provided the Planning Office in response to below.  
Mark said it has been over a year & nothing has been done -I guess only 1 of the 2 pumps work.  
I am not sure if Sewer has been in contacted directly with the Developer regarding this or if Sewer has signed-off on building permits during this time.  
-Gary

---

R. Gary Bechtholdt II  
Northbridge Town Planner

COMMUNITY PLANNING & DEVELOPMENT  
Aldrich School -Town Hall Annex  
14 Hill Street (508) 234-2447

Northbridge Memorial Town Hall  
7 Main Street, Whitinsville MA 01588  
[www.northbridgemass.org](http://www.northbridgemass.org)

---

**From:** Gary Bechtholdt  
**Sent:** Thursday, November 15, 2018 10:27 AM  
**To:** James Shuris <jshuris@northbridgemass.org>; Jamie Luchini <jluchini@northbridgemass.org>; Mark Kuras <mkuras@northbridgemass.org>  
**Cc:** 'Brian J. Massey' <mass.bm@gmail.com>  
**Subject:** Hemlock Estates (Inspection Reports)  
**Importance:** High

Jim, Jamie & Mark:

Please be advised -the Planning Board voted to initiate calling-in the performance bond held for the Hemlock Estates subdivision at its meeting of 11/13/2018.

As a result of such action -the DPW (Highway/Sewer) shall conduct a site inspection of the subdivision development and provided the Planning Board with a report(s) indicating any outstanding concerns (Hemlock Street & Fir Hill Lane).

A detailed punchlist of items (similar to Camelot's) shall be prepared by the DPW for the Planning Board.

Attached for your convenience is a copy (PDF) of JH ENG report dated October 05, 2018.

Arrangements have been made for the Planning Board to review this matter at its meeting of Tuesday, November 27, 2018.

By way of this email I shall provide same to Brian Massey, PB Chair -to keep him in the loop.

Thank you in advance for your prompt attention to this matter -any questions let me know.

Take care,

-Gary

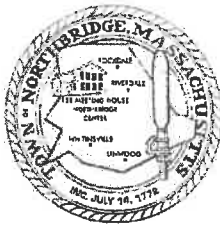
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R. Gary Bechtholdt II  
Northbridge Town Planner

COMMUNITY PLANNING & DEVELOPMENT  
Aldrich School -Town Hall Annex  
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Mark F. Kuras  
Superintendent

# Town of Northbridge

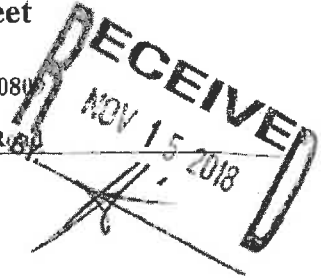
## Department of Public Works

Sewer Division, Town Hall, 7 Main Street  
Whitinsville, Massachusetts 01588

Phone: 508-234-2154

Fax: 508-234-0800

Wastewater Treatment Plant located at 644 Providence Road



DATE: March 1, 2017

TO: PLANNING BOARD

FROM: Mark Kuras Town of Northbridge Wastewater Superintendent

SUBJECT: Hemlock Subdivision

The Hemlock Pump Station and Force Main is owned and maintained by J&F Marinella Development. Before the Town of Northbridge accepts the responsibility of maintaining the Pump Station, Force Main and Emergency Generator. I am requiring that a minimum of one year of maintenance records and all related manuals are to be turned over to the Town of Northbridge.

A permanent repair is needed on the Force Main at the Air Release Valve.

The Pump Station and Emergency Generator shall be checked and serviced by a technician in that field and approved before acceptance. The Emergency Generator Propane tank shall be filled before acceptance.

Thank You

Mark Kuras  
Town of Northbridge  
WWTP Superintendent  
508-234-2154

## Community Planning & Development -Weekly Report November 12-16, 2018

- **2016 Green Communities Program (Designation)** -reviewed with Chris Bennett (CMRPC) data for Annual Reporting to DOER; provided listing of solar generation projects approved under the town's zoning; followed up with various municipal departments regarding updated vehicle inventory, net metering and energy conservation measures (completed/planned)
- **2018 Green Communities Program (Grant)** -processed for payment invoicing for the Town Hall -Boiler & Town Hall Annex -Hot Water Tank; sub-contractor (Commercial Boiler Systems, Inc.) began steam trap replacements at Fire Station, however needs to (re)order different valves as there are multiple (different) fixtures throughout building; updated GC grant payment tracking spreadsheet
- **Town Hall VRFs** -participated in conference call (11/15) with representative from MassCEC (Mass Clean Energy Center) regarding the awarding of \$11,000.00 for the design & installation of VRFs -Variable Refrigerant Flows (HVAC mini-splits) within the Town Hall; application submitted to MassCEC was for a two (2) phases project, consisting of the main-level & ground-level, however project funding (town allocation) is for only one phase, the main-level; MassCEC is going to review with its legal department to see if the town can proceed with phase 1, where MassCEC may issue a partial payment of the award for phase 1
- **Winston Woods, Definitive Subdivision Application** -hosted Technical Review Meeting (11/14); Fire Chief, Highway Superintendent, Sewer Superintendent, Inspector of Buildings, Conservation Agent, and Whitinsville Water Company offered comment & input to Applicant/Engineer for proposed 8 to 9-lot duplex unit development at the end of Spring Street; municipal departments to provide report/recommendation to the Planning Board (11/27 mtg)
- **Presidential Farms Open Space (Parcels A & D)** -conducted site visit (11/14) of bike trail, walking path & recreation lot (Roosevelt Drive); Developer is to complete improvements prior to Phase V lot release; contacted Developer's attorney regarding outstanding issues & status of land trust (& conservation restriction); matter to be reviewed at next scheduled PB meeting (11/27)
- **Hemlock Estates (Fir Hill Lane)** -prepared letter to Developer (J&F Marinella) concerning ongoing puddling issue at driveway of 232 Fir Hill Lane; homeowner attended Planning Board meeting (11/13) seeking assistance to resolve concerns; in addition to stormwater associated with roadway drainage the adjacent & upgradient house lots have contributed to excessive flows; homeowner spoke with Building Department previously regarding other lots; PB Chair to follow-up with Building Inspector; PB Chair met onsite with Highway Superintendent to review puddling concern; Planning Board voted to initiate calling-in the performance bond held; contacted DPW to conduct a site inspection for the purpose of creating a punchlist of outstanding issues
- **Camelot Subdivision** -in receipt of updated construction estimates for Phase IB (Joseph Circle) prepared by JH ENG, the Planning Board's Consultant; arrangements shall be made for the Board to consider a reduction at its meeting of 11/27
- **Bulletin Board/Kiosk (Walmart)** -in receipt of Blackstone River Valley National Historical Park "Passport Booklets" from the National Park Service for the kiosk/bulletin board to be installed at Walmart
- **Local Historic District Study Committee (LHDSC)** -attended meeting (11/13); provided LHDSC Members & Consultant with requested information; drafted correspondence to Mass Historic Commission regarding the composition/status of the LHDSC; next meeting scheduled for 12/11
- **Economic Development Committee (EDC)** -met with Chole Mawn (11/15), resident interested in serving on the town's Economic Development Committee; Ms. Mawn plans to attend the next scheduled EDC meeting (11/19) for a meet & greet and overview of roles and responsibilities

- **Planning Board** -attended meeting (11/13); prepared meeting minutes; reviewed 11/27 meeting agenda with PB Chair; Associate Members (Vacancy)

## Gary Bechtholdt

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**From:** Gary Bechtholdt  
**Sent:** Wednesday, November 07, 2018 9:56 AM  
**To:** 'Brian J. Massey'; James Shuris  
**Cc:** Jamie Luchini  
**Subject:** RE: [Northbridge MA] Finish paving in Adams circle

Jim:

This will be brought up at the next meeting -however this is something the DPW needs to follow-up on.

As the Chair mentioned below -a road opening permit should have been issued for the work, this was noted before.

Not sure what you are looking to the Planning Board to do.

-Gary

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R. Gary Bechtholdt II  
Northbridge Town Planner

COMMUNITY PLANNING & DEVELOPMENT  
Aldrich School -Town Hall Annex  
14 Hill Street (508) 234-2447

Northbridge Memorial Town Hall  
7 Main Street, Whitinsville MA 01588  
[www.northbridgemass.org](http://www.northbridgemass.org)

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**From:** Brian J. Massey <mass.bm@gmail.com>  
**Sent:** Wednesday, November 07, 2018 9:52 AM  
**To:** James Shuris <jshuris@northbridgemass.org>; Gary Bechtholdt <gbechtholdt@northbridgemass.org>  
**Cc:** Jamie Luchini <jluchini@northbridgemass.org>; Brian Massey <mass.bm@gmail.com>  
**Subject:** RE: [Northbridge MA] Finish paving in Adams circle

Jim,

Have you called him?

Did the DPW issue him a road opening permit? If so did we get a bond?

Thank you for the follow up.

Brian

Regards,

Brian J. Massey  
192 Rebecca Road, Whitinsville, MA 01588  
Mobile: 508-641-5690  
Email: [mass.bm@gmail.com](mailto:mass.bm@gmail.com)

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**From:** James Shuris [<mailto:jshuris@northbridgemass.org>]  
**Sent:** Wednesday, November 7, 2018 9:34 AM  
**To:** Gary Bechtholdt; Brian J. Massey  
**Subject:** Fw: [Northbridge MA] Finish paving in Adams circle

Gary and Brian;

Still no response from Marinella?

Please address st next Planning Board meeting, etc.

Thanks.

Jim Shuris

James Shuris, P.E., MBA  
Director of Public Works & Town Engineer  
Town of Northbridge  
P.O. Box 88  
11 Fletcher Street  
Northbridge, MA 01588  
Tel. No. (508) 234-0816  
Fax. No. (508) 234-0807

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**From:** Alex Rogozenski <[arogozenski@gmail.com](mailto:arogozenski@gmail.com)>  
**Sent:** Wednesday, November 7, 2018 9:21:40 AM  
**To:** James Shuris  
**Subject:** Re: [Northbridge MA] Finish paving in Adams circle

Hi jim - happen to hear anything back from developer? Also noticed over the weekend that the new above ground manhole just has a metal sheet loosely placed on top of it, definitely not finished.

Thanks,  
Rogo  
(c) 774-272-1767  
Sent from my iPhone

On Oct 31, 2018, at 11:32 AM, James Shuris <[jshuris@northbridgemass.org](mailto:jshuris@northbridgemass.org)> wrote:

Alex:

Road opening permits expire on November 15th.

Jim Shuris

**James Shuris, P.E., MBA**

***Director of Public Works & Town Engineer***

Town of Northbridge

P.O. Box 88

11 Fletcher Street

Northbridge, MA 01588

Tel. No. (508) 234-0816

Fax. No. (508) 234-0807

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**From:** Alex Rogozenski <[arogozenski@gmail.com](mailto:arogozenski@gmail.com)>  
**Sent:** Wednesday, October 31, 2018 11:08 AM  
**To:** James Shuris  
**Subject:** Re: [Northbridge MA] Finish paving in Adams circle

Thx jim. Mind if I reach out again if we don't see/hear anything in the next week or so? I'm guessing we're running up against the deadline for paving this season.

Thanks,  
Rogo  
(c) 774-272-1767  
Sent from my iPhone

On Oct 31, 2018, at 10:43 AM, James Shuris <[jshuris@northbridgemass.org](mailto:jshuris@northbridgemass.org)> wrote:

Alex:

Thanks for the e-mail. I will forward this to the developer who performed this work.

Jim Shuris

***James Shuris, P.E., MBA***

***Director of Public Works & Town Engineer***

Town of Northbridge

P.O. Box 88

11 Fletcher Street

Northbridge, MA 01588

Tel. No. (508) 234-0816

Fax. No. (508) 234-0807

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**From:** Alex rogozenski <Arogozenski@gmail.com>  
**Sent:** Wednesday, October 31, 2018 8:22 AM  
**To:** James Shuris  
**Subject:** [Northbridge MA] Finish paving in Adams circle

jshuris,

Someone has sent you a message using your contact form on the Northbridge MA site.

If you don't want to receive such e-mails, you can change your settings at <http://www.northbridgemass.org/users/jshuris>.

jshuris | Northbridge MA

[www.northbridgemass.org](http://www.northbridgemass.org)

Website Disclaimer & Privacy Policy Government Websites by CivicPlus ®. 7 Main Street, Whitinsville, MA 01588 Phone: (508) 234-2095

Message:

Good morning jim - I called in a few weeks ago but wanted to follow up and see when the developer would be finishing the paving and repairing the storm drain and sidewalk in Adams circle. He tied into the water lines for the new development below us and had a portion of it paved over, but there are still good size spots that are exposed in circle and sidewalk, one with a leftover big water pipe on the side and head cover/valve exposed - if not paved (and pipe removed) the plows will demolish it this winter. There are several cones marking these areas, and a handful of construction barrels just discarded and thrown in the woods. This has been sitting unfinished for well over a month now.

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Message sent by: Alex rogozenski ([Arogozenski@gmail.com](mailto:Arogozenski@gmail.com))

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**TOWN OF NORTHBRIDGE  
COMMUNITY PLANNING & DEVELOPMENT OFFICE**

7 MAIN STREET  
WHITINSVILLE, MASSACHUSETTS 01588

Telephone (508) 234-2447

Fax (508-234-0814

**MEMORANDUM**

**TO:** J & F Marinella (Hemlock Estates – Spruce St, Hemlock St Fir Hill Lane), JA Taylor (Green Meadow Estates - Green Meadow Court), Robert Rolandelli, Wal\*Mart (Valley Parkway), David Brossi (Presidential Farms – Wilson St, Roosevelt Dr Washington St), J & F Marinella (The Camelot – Rebecca Rd, Joseph Circle), Mujeeb Construction Company (Carpenter Estates – Hannah Drive), Terreno Realty (Leonardo Estates – Windstone Drive)

**FROM:** Barbara Kinney, Administrative Assistant Northbridge Planning Board

**DATE:** November 15, 2018

**RE:** **2018 / 2019 SNOW PLOWING & SANDING CONTRACTS**  
Subdivision Roadways

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As per the provisions of the Subdivision Rules & Regulations § 222-34 (Cleanup; final inspection; maintenance) developers are required to maintain unaccepted roadways within the subdivision. This maintenance shall include snow removal, sanding, and repairs to drainage systems, etc. Cleanup and maintenance is NOT limited to the snow removal within the road travel ways – **it shall also include sidewalks.**

At the request of the Northbridge Department of Public Works (DPW), all developers are required to provide the DPW with a contact person and phone number in regards to sanding and plowing. For recently approved town accepted roadways, be sure to contact the DPW and verify if said roadway will be maintained by the town.

Please provide the Department of Public Works and this office with a copy of your snow removal and sanding contracts to be included in the respective subdivision files.

Please note: unaccepted subdivision roads will not be plowed or sanded by the Town unless a public safety emergency requires these actions. In the event the town provides such service you the applicant / developer will be charged at the rate established by the Board of Selectmen. Raised structures shall be protected and roadways shall be free of obstructions.

Thank you for your prompt attention to this matter, if you should have any questions, please contact the Department of Public Works at 508-234-3581.

Cc: Safety Committee

Town Manager / BOS

DPW – Highway

PB/File(s)





# TOWN OF NORTHBRIDGE PLANNING BOARD

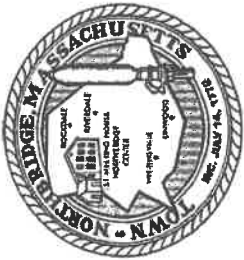
14 HILL STREET  
WHITINSVILLE, MASSACHUSETTS 01588  
Telephone: (508) 234-2447  
FAX: (508) 234-0821

## NORTHBRIDGE PLANNING BOARD

Please find below the meeting dates of the Northbridge Planning Board.

2019		
	Tuesday, May 7, 2019 SATM	
Tuesday, January 08, 2019	Tuesday, May 14, 2019	Tuesday, September 10, 2019
Tuesday, January 22, 2019	Tuesday, May 28, 2019	Tuesday, September 24, 2019
	Tuesday, May 21, 2019 Town Election	
Tuesday, February 12, 2019	Tuesday, June 11, 2019	Tuesday, October 8, 2019
Tuesday, February 26, 2019	Tuesday, June 25, 2019	
		Tuesday, October 22, 2019 FATM
Tuesday, March 12, 2019	Tuesday, July 09, 2019	Tuesday, November 12, 2019
Tuesday, March 26, 2019	Tuesday, July 23, 2019	Tuesday, November 26, 2019
Tuesday, April 09, 2019	Tuesday, August 13, 2019	Tuesday, December 10, 2019
Tuesday, April 23, 2019	Tuesday, August 27, 2019	<b>Tuesday, December 24, 2019 XMAS EVE</b>

Unless otherwise noted, the Planning Board will meet the second and fourth Tuesday of each month in the Northbridge Town Hall – Board of Selectmen's Room - beginning at 7:00PM. Pursuant to Mass General Laws, notice of meetings must be posted with the Office of the Town Clerk 48 hours prior to the meeting. All meetings are open to the public.



TOWN OF NORTHBRIDGE  
**PLANNING BOARD**  
 Aldrich School –Town Hall Annex  
 14 Hill Street, Whitinsville, MA 01588  
 Telephone: (508) 234-2447 FAX: (508) 234-0821

## NORTHBRIDGE PLANNING BOARD

Please find below meeting dates of the Northbridge Planning Board for the calendar year of 2018:

<b>2018</b>	
<i>Spring Annual Town Meeting (May 01, 2018)</i>	
Tuesday, January 09, 2018	Tuesday, May 08, 2018
Tuesday, January 23, 2018	Tuesday, May 22, 2018
<i>Special Town Meeting (February 06, 2018)</i>	
Tuesday, February 13, 2018	Tuesday, June 12, 2018
Tuesday, February 27, 2018	Tuesday, June 26, 2018
<i>Town Elections (May 15, 2018)</i>	
	Tuesday, June 12, 2018
	Tuesday, June 26, 2018
	Tuesday, July 10, 2018
	Tuesday, July 24, 2018
	Tuesday, August 14, 2018
	Tuesday, August 28, 2018
	Tuesday, September 11, 2018
	Tuesday, September 25, 2018
<i>Primary Elections (September 18, 2018)</i>	
	Tuesday, October 09, 2018
	Fall Annual Town Meeting (October 23, 2018)
<i>State Elections (November 06, 2018)</i>	
	Tuesday, November 13, 2018
	Tuesday, November 27, 2018
	Tuesday, December 11, 2018

Unless otherwise noted, the Planning Board typically meets the second & fourth Tuesday of each month in the Northbridge Memorial Town Hall (7 Main Street, Whitinsville, MA) Board of Selectmen's Room - beginning at 7:00 PM. Meeting dates may be subject to change.

*Pursuant to Mass General Laws, notice of meetings must be posted with the Office of the Town Clerk 48 hours prior to the meeting. All meetings are open to the public.*

[An audio recording of the meetings may be made to assist in the preparation of minutes; such recordings will not be archived]  
 Meeting minutes shall serve as the official record of the Planning Board