

PROJECT COMPLETION REPORT

NORTHBRIDGE MEMORIAL TOWN HALL

7 MAIN STREET WHITINSVILLE, MA 01588

WINDOW RESTORATION & WEATHERIZATION PROJECT



MASSACHUSETTS PRESERVATION PROJECTS FUND –ROUND 18 (DEVELOPMENT PROJECT)

JULY ____ 2013

Prepared by: John Hecker, AIA, Project Manager /McGinley Kalsow & Associates
R. Gary Bechtholdt II, Town Planner / Local Project Coordinator



MASSACHUSETTS HISTORICAL COMMISSION
William Francis Galvin, Secretary of the Commonwealth
220 Morrissey Boulevard, Boston, Massachusetts 02125

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PROJECT COMPLETION REPORT

Project Number (MHC use only):

Project Name: Northbridge Memorial Town Hall -Window Restoration & Weatherization
Property Name: Northbridge Memorial Town Hall
Address: 7 Main Street, Whitinsville, MA 01588

Grant Recipient: Town of Northbridge, MA
Title of Authorized Signer: Theodore D. Kozak, Northbridge Town Manager
Address: 7 Main Street Whitinsville, MA 01588
Owner: Town of Northbridge, MA

Completion Date: JULY 28, 2013

Total Project Cost: \$514,663.00 **Project Type:** ☒ Development
State Share: \$45,000.00
Recipient Share: \$469,663.00
Endowment: \$0.00

Local Project Coordinator: R. Gary Bechtholdt II, Town Planner

State Supervisors: Paul A. Holtz, Co-Director Grants Division / Historical Architect, MHC
Massachusetts Historical Commission, Massachusetts Archives Building
220 Morrissey Boulevard, Boston, MA 02125

Preservation Supervisor(s): Wendall C. Kalsow, AIA, P-I-C
John Hecker, AIA, Architect
McGinley Kalsow & Associates, Inc.
324 Broadway, Somerville, MA 02145

Contractor(s):
[General Contractor] [Sub-Contractor/Painting]
Campbell Construction Group LLC Homer Contracting, Inc.
21 Caller Street –Suite 4, Peabody, MA 01960 195 Broadway Arlington, MA 02474

FLI Environmental, Inc. (asbestos inspection) Sara B. Chase (historic paint analysis)

Report Prepared By: John Hecker, IAI, Architect/McGinley Kalsow & Associates
Edited By: R. Gary Bechtholdt II, Town Planner/Local Project Coordinator

Project Completion Report Approval:

I hereby certify that project work has been completed in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Brona Simon
Executive Director & State Historic Preservation Officer
Massachusetts Historical Commission

Date

TABLE OF CONTENTS

INTRODUCTION

PURPOSE OF PROJECT

USE OF PROPERTY

SECTION I

- Comparative Budget

SECTION II

- Public Benefit Statement
- Copy of Recorded Preservation Restriction

(Stamped with Book & Page number & Date of Recording)

SECTION III

- Narrative Report
- Captions for Photographs
- Photographs

SECTION IV

- State Site Visit Comments (to be added by MHC staff)

SECTION V

- Other Information such as Special Conditions

APPENDICES

- Architect/Preservation Consultant Certification
 - List of Contractors & Sub-contractors
 - Preservation Consultants
 - MHC Inventory Form & Property Location Map
 - Financial Documentation
 - Miscellaneous Information (i.e. historic paint analysis, newspaper clippings, project sign, etc)
 - Window Restoration –Scope of Work
 - Documentation of Job Creation Statistics
-

INTRODUCTION

The Northbridge Memorial Town Hall was designed by an architect or builder who remains unidentified. Construction on the building began in 1872, and it was completed in 1876. It is prominently located at the corner of Main Street and Douglas Road, which is the major crossroads of the town. It sits between the John C. Whitin's Machine Works to the west, and Charles P. Whitin's Cotton Mill to the east.

The Town Hall was conceived and financed by two sons of the Whitin family, and was built as a memorial to their father and mother. For many years, the Whitin family owned most of the industrial mill complexes located in the town. The Whitin family homestead used to occupy the current town hall site, until the two sons had it moved to a new location on Linwood Avenue.

Until 1958, the Whitin family paid for the maintenance and heating of the building. It was originally used as a social venue and as the location of the local library. It has functioned as the local seat of town government since 1876.

Through a grant from the Massachusetts Historical Commission MPPF Program, the Town has been able to restore approximately 78 double-hung and semi-circular windows at the perimeter of the first and second floors.

PURPOSE OF THE PROJECT

The purpose of the project was to restore the physical integrity and finishes of the original town hall window sashes and frames. In a previous contract, historic paint color research had identified the original historic colors of the windows. The restored windows have been painted with these historic paint colors. The restored windows also have new metal, perimeter weather-stripping to reduce drafts. The upper sashes have been fixed in-place with removable wood blocks. This detail, along with new sash locks and sash lifts, will make the sash easier to use, to lock, and to reduce air infiltration.

An alternate for additional work, not funded by the MHC, will provide storm windows for all of the first floor windows. The new storm windows will help to save additional energy, increase user comfort, and protect the newly restored window frames and sashes from the elements.

USE OF PROPERTY

The Northbridge Memorial Town Hall has served as the center for local government since its construction. Construction began in 1872 as a memorial to Paul and Betsy Whitin. In 1958 care of the Memorial Town Hall was transferred to the Selectmen of Northbridge. Today, the Town Hall still serves as the town's main administrative and operational headquarters and shall continue to do so for future generations.

SECTION I: COMPARATIVE BUDGET & FINANCIAL DOCUMENTATION

1. COMPARATIVE BUDGET

<i>Work Categories per Contract</i>	<i>Estimated Cost per Contract</i>	<i>Actual Bid</i>	<i>Change Orders</i>	<i>Final Cost</i>
a. <u>Division 1 – General Conditions</u>	<u>\$ 116,632.00</u>	<u>\$ 50,700.00</u>	<u>\$ 0</u>	<u>\$ 50,700.00</u>
b. <u>Division 2 – Site work (Abatement)</u>	<u>\$ 0</u>	<u>\$ 30,000.00</u>	<u>\$ 0</u>	<u>\$ 30,000.00</u>
c. <u>Division 8 – Windows & Doors</u>	<u>\$ 227,775.00</u>	<u>\$ 312,500.00</u>	<u>\$ 41,963</u>	<u>\$ 354,463.00</u>
d. <u>Division 9 - Finishes</u>	<u>\$ 82,328.00</u>	<u>\$ 76,300.00</u>	<u>\$ 3,200</u>	<u>\$ 79,500.00</u>
Total Project Cost	<u>\$ 426,736.00</u>	<u>\$ 469,500.00</u>	<u>\$ 45,163.00</u>	<u>\$ 514,663.00</u>

2. SUMMARY OF FUNDING SOURCES

	<i>Estimated as per Contract</i>	<i>Actual</i>
State Share:	\$ 45,000.00	\$ 45,000.00
Non-State Share:	\$ 424,500.00	\$ 469,663.00

Donor: Town of Northbridge, MA

Donor:

Source: Town-Approved Warrant

Source:

Kind: Town Funds

Kind:

Amount: \$ 469,663.00

Amount:

SECTION II: PUBLIC BENEFIT STATEMENT

☒ Since the project was limited to the exterior of the structure which can be seen from the public right-of-way, and structural improvements, public benefit requirements are deemed satisfied. A copy of the Preservation Restriction for maintenance and administration has been incorporated into the deed and is included in this section.

☐ Project involved interior work. The property is open to the public on the following days:

Hours of operation are:

Monday	8:30 AM – 7:00 PM	Thursday	8:30 AM – 4:30 PM
Tuesday	8:30 AM – 4:30 PM	Friday	8:30 AM – 1:00 PM
Wednesday	8:30 AM – 4:30 PM	Closed	Saturday & Sunday

These restrictions have been recorded in the Worcester County Registry of Deeds at Book 22303, Page 188 to 193 for a term of (perpetuity) years.

Date Recorded: 02/09/2000

LEONARD KOPELMAN
DONALD G. PAIGE
ELIZABETH A. LANE
JOYCE FRANK
JOHN W. GIORGIO
BARBARA J. SAINT ANDRE
JOEL B. BARD
EVERETT J. MARDER
JOSEPH L. TEHAN, JR.
ANNE-MARIE M. HYLAND
THERESA M. DOWDY
DEBORAH A. ELIASON
RICHARD BOWEN

EDWARD M. REILLY
DIRECTOR WESTERN OFFICE

WILLIAM HEWIG III
JEANNE S. MCKNIGHT
JUDITH C. CUTLER
KATHLEEN M. O'DONNELL

KOPELMAN AND PAIGE, P. C.

ATTORNEYS AT LAW

31 ST. JAMES AVENUE

BOSTON, MASSACHUSETTS 02116-4102

(617) 556-0007
FAX (617) 654-1735

PITTSFIELD OFFICE
(413) 443-6100

NORTHAMPTON OFFICE
(413) 585-8632

WORCESTER OFFICE
(508) 752-0203

DAVID J. DONESKI
SANDRA M. CHARTON
ILANA M. QUIRK
PATRICIA A. CANTOR
JOHN R. HUCKSAM, JR.
THOMAS P. LANE, JR.
BRIAN W. RILEY
ROBERT PATTEN
MARK R. REICH
MARY L. GIORGIO
KATHLEEN E. CONNOLLY
CHRISTOPHER J. GROLL
MICHELE E. RANDAZZO
DARREN R. KLEIN
THOMAS W. MCENANEY
JONATHAN M. SILVERSTEIN
KATHARINE I. GOREE
CHRISTOPHER J. POLLART
LISA V. WHELAN
LAURA N. KLING
GREGG J. CORBO
AMANDA ZURETTI

March 16, 2000

Town Clerk
Northbridge Town Hall
7 Main Street
Whitinsville, MA 01588

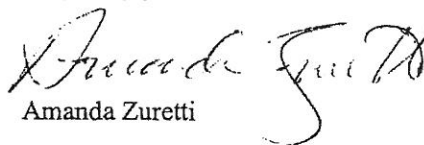
Re: Preservation Restriction Agreement – 7 North Main Street

Dear Sir/Madam:

I enclose the original recorded Preservation Restriction Agreement and Restriction Guidelines for safekeeping in the Town of Northbridge's permanent files. The enclosed Preservation Restriction Agreement and Restriction Guidelines were recorded with the Worcester County Registry of Deeds on February 9, 2000 in Book 22303, Pages 188 to 193.

If you have questions regarding this enclosure, please do not hesitate to contact me.

Very truly yours,


Amanda Zuretti

AZ/er

Enc.

cc: Town Manager
Board of Selectmen

96303/NBRJ.0001

LEONARD KOPELMAN
DONALD G. PAIGE
ELIZABETH A. LANE
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*Copy to H. Gaudette
2/14/2000*

DAVID J. DONESKI
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LISA V. WHELAN
LAURA N. KLING
GREGG J. CORBO
AMANDA ZURETTI

RECEIVED

FEB 14 2000

Northbridge Town Manager

February 9, 2000

BY FACSIMILE - (617) 720-2565
FEDERAL EXPRESS

Mr. Steven Howe
Marsh, Moriarty, Ontell & Dacey, P.C.
c/o Worcester South County Registry of Deeds
Court House
2 Main Street,
Worcester, MA 01608

Re: Town of Northbridge - Recordation of Historic Preservation Restriction

Dear Mr. Howe:

I enclose for recordation in the Worcester South County Registry of Deeds a Preservation Restriction Agreement between the Commonwealth of Massachusetts by and through the Massachusetts Historical Society and the Town of Northbridge concerning the premises located at 7 Main Street, Northbridge, Massachusetts.

Kindly record the enclosed Preservation Restriction Agreement and appended Guidelines at your earliest opportunity. No rundown is necessary prior to recording. I enclose this firm's check in the amount of \$14.00 in payment of the recording fee. Kindly request a marginal reference to the Deed in Book 3942, Page 478 at the time of recording.

If you have questions concerning this request, please do not hesitate to contact me.

Very truly yours,

Deborah A. Eliason

Deborah A. Eliason

DAE/AZ/smm

Enc.

cc: Town Manager
Board of Selectmen

93622/NBRJ/0001

COPY

PRESERVATION RESTRICTION AGREEMENT
between the COMMONWEALTH OF MASSACHUSETTS
by and through the MASSACHUSETTS HISTORICAL COMMISSION
and the Town of Northbridge

The parties to this Agreement are the Commonwealth of Massachusetts, by and through the Massachusetts Historical Commission located at the Massachusetts Archives Building, 220 Morrissey Boulevard, Boston, Massachusetts 02125, hereinafter referred to as the Commission, and the Town of Northbridge, 7 Main street, Northbridge, Ma. 01588 hereinafter referred to as the Grantor.

WHEREAS, the Grantor is the owner in fee simple of certain real property with improvements known as Northbridge Town Hall, thereon as described in a deed dated May 15, 1958, from E. Kent Swift, et al., trustees to the Town of Northbridge, recorded with the Worcester District Registry of Deeds, Book 3942, Page 478, and which is located at 7 Main Street, Northbridge, Ma. 01588 hereinafter referred to as the Premises.

WHEREAS, the Grantor wishes to impose certain restrictions, obligations and duties upon it as the owner of the Premises and on the successors to its right, title and interest therein, with respect to maintenance, protection, and preservation of the Premises in order to protect the architectural, archaeological and historical integrity thereof; and

WHEREAS, the Premises is listed in the State Register of Historic Places as a contributing property to the Whitinsville National Register Historic District; and

WHEREAS, the preservation of the Premises is important to the public for the enjoyment and appreciation of its architectural, archaeological and historical heritage and will serve the public interest in a manner consistent with the purposes of M.G.L. chapter 184, section 32, hereinafter referred to as the Act; and

WHEREAS, the Commission is a government body organized under the laws of the Commonwealth of Massachusetts and is authorized to accept these preservation restrictions under the Act;

NOW, THEREFORE, for good and valuable consideration, the Grantor conveys to the Commission the following preservation restrictions, which shall apply in Perpetuity to the Premises.

These preservation restrictions are set forth so as to ensure the preservation of those characteristics which contribute to the architectural, archaeological and historical integrity of the Premises which have been listed on the National and/or State Registers of Historic Places, under applicable state and federal legislation.

Characteristics which contribute to the architectural, archaeological and historical integrity of the Premises include, but are not limited to, the artifacts, features, materials, appearance, and workmanship of the Premises, including those characteristics which originally qualified the Premises for listing in the National and/or State Registers of Historic Places.

The terms of the Preservation Restriction are as follows:

1. Maintenance of Premises: The Grantor agrees to assume the total cost of continued maintenance, repair and administration of the Premises so as to preserve the characteristics which contribute to the architectural, archaeological and historical integrity of the Premises in a manner satisfactory to the Commission according to the Secretary of the Interior's "Standards for the Treatment of Historic Properties." The Grantor may seek financial assistance from any source available to it. The Commission does not assume any obligation for maintaining, repairing or administering the Premises.

2. Inspection: The Grantor agrees that the Commission may inspect the Premises from time to time upon reasonable notice to determine whether the Grantor is in compliance with the terms of this Agreement.

3. Alterations: The Grantor agrees that no alterations shall be made to the Premises, including the alteration of any interior, unless (a) clearly of minor nature and not affecting the characteristics which contribute to the architectural, archaeological or historical integrity of the Premises, or (b) the Commission has previously determined that it will not impair such characteristics after reviewing plans and specifications submitted by the Grantor, or (c) required by casualty or other emergency promptly reported to the Commission. Ordinary maintenance and repair of the Premises may be made without the written permission of the Commission. For purposes of this section, interpretation of what constitutes alterations of a minor nature and ordinary maintenance and repair is governed by the Restriction Guidelines which are attached to this Agreement and hereby incorporated by reference.

4. Assignment: The Commission may assign this Agreement to another governmental body or to any charitable corporation or trust among the purposes of which is the maintenance and preservation of historic properties only in the event that the Commission should cease to function in its present capacity.

5. Validity and Severability: The invalidity of M.G.L. c. 184 or any part thereof shall not

affect the validity and enforceability of this Agreement according to its terms. The invalidity or unenforceability of any provision of this Agreement shall not affect the validity or enforceability of any other provision of this Agreement.

6. Recording: The Grantor agrees to record this Agreement with the appropriate Registry of Deeds and file a copy of such recorded instrument with the Commission.

7. Other Provisions: None applicable.

The burden of these restrictions enumerated in paragraphs 1 through 7, inclusive, shall run with the land and is binding upon future owners of an interest therein.

IN WITNESS WHEREOF, we have hereunto set our hands and seals this January 10th day of January, 1992000.

Joseph Montemiva
Charles Ampronio Jr.
Russell Collins

COMMONWEALTH OF MASSACHUSETTS

_____, ss. January 10, 1992000

Then personally appeared the above named Joseph Montemiva, Charles Ampronio Jr., Russell Collins and acknowledged the foregoing instrument to be the free act and deed of the Northbridge Board of Selectmen before me,

SUSAN M. BROUWER
NOTARY PUBLIC
Notary Public My Commission Expires Nov. 17, 2006
My Commission Expires

RESTRICTION GUIDELINES

The purpose of the Restriction Guidelines is to clarify paragraph three of the terms of the preservation restriction, which deals with alterations to the premises. Under this section permission from the Massachusetts Historical Commission is required for any major alteration. Alterations of a minor nature, which are part of ordinary maintenance and repair, do not require MHC review.

In an effort to explain what constitutes a minor alteration and what constitutes a major change, which must be reviewed by the MHC, the following list has been developed. By no means is this list comprehensive: it is only a sampling of some of the more common alterations, which may be contemplated by building owners.

PAINT

Minor - Exterior or interior hand scraping and repainting of non-decorative and non-significant surfaces as part of periodic maintenance.

Major - Painting or fully stripping decorative surfaces or distinctive stylistic features including murals, stenciling, wallpaper, ornamental woodwork, stone, decorative or significant original plaster.

WINDOWS AND DOORS

Minor - Regular maintenance including caulking, painting and necessary reglazing. Repair or in-kind replacement of existing individual decayed window parts.

Major - Wholesale replacement of units; change in fenestration or materials; alteration of profile or setback of windows. The addition of storm windows is also considered a major change; however, with notification it is commonly acceptable.

EXTERIOR

Minor - Spot repair of existing cladding and roofing including in-kind replacement of clapboards, shingles, slates, etc.

Major - Large-scale repair or replacement of cladding or roofing. Change involving inappropriate removal or addition of materials or building elements (i.e. removal of chimneys or cornice detailing; installation of architectural detail which does not have a historical basis); altering or demolishing building additions; spot repointing of masonry. Structural stabilization of the property is also considered a major alteration.

LANDSCAPE/OUTBUILDINGS

Minor - Routine maintenance of outbuildings and landscape including lawn mowing, pruning, planting, painting, and repair.

Major - Moving or subdividing buildings or property; altering of property; altering or removing significant landscape features such as gardens, vistas, walks, plantings; ground disturbance affecting archaeological resources.

WALLS/PARTITIONS

Minor - Making fully reversible changes (i.e. sealing off doors in situ, leaving doors and door openings fully exposed) to the spatial arrangement of a non-significant portion of the building.

Major - Creating new openings in walls or permanently sealing off existing openings; adding permanent partitions which obscure significant original room arrangement; demolishing existing walls; removing or altering stylistic features; altering primary staircases.

HEATING/AIR CONDITIONING/ELECTRICAL/PLUMBING SYSTEMS

Minor - Repair of existing systems.

Major - Installing or upgrading systems which will result in major appearance changes (i.e. dropped ceilings, disfigured walls or floors, exposed wiring, ducts, and piping); the removal of substantial quantities of original plaster or other materials in the course of construction.

Changes classified as major alterations are not necessarily unacceptable. Under the preservation restriction such changes must be reviewed by the MHC and their impact on the historic integrity of the premise assessed.

It is the responsibility of the property owner to notify the MHC in writing when any major alterations are contemplated. Substantial alterations may necessitate review of plans and specifications.

The intent of the preservation restriction is to enable the Commission to review proposed alterations and assess their impact on the integrity of the structure, not to preclude future change. MHC staff will attempt to work with property owners to develop mutually satisfactory solutions, which are in the best interests of the property.

3942

E. KENT SWIFT, PHILIP B. WALKER, E. KENT SWIFT, JR., all of Whitinsville, Northbridge, STUART F. BROWN & LAURANCE M. FULLER, both of Uxbridge, Trustees,

478

See Plan
Book 232,
Plan 35

Agreement

P. 22303

P. 188

~~EXECUTOR under the Will of~~ ~~ADMINISTRATOR of the Estate of~~ ~~TRUSTEE of~~ ~~GUARDIAN~~
~~of~~ ~~CONSERVATOR of~~ ~~RECIPIENT of~~ ~~ESTATE of~~ ~~PROPERTY of~~ ~~COMMISSIONER~~

by power conferred by under Indenture dated February 8, 1882 by and between John C. Whitin et al and Josiah Lasell et ali, recorded with Worcester District Deeds, Book 1117, Page 181

and every other power,
for One Dollar and other good and valuable consideration Dollars
paid, grant to TOWN OF NORTHBRIDGE

~~Hereinafter~~ All that certain lot or parcel of land known as the Homestead lot or estate of the late Mrs. Betsey Whitin, deceased, situated on Main Street in said Whitinsville, in said Northbridge, with the Memorial Building standing thereon, which said lot of land is bounded as follows, viz:

Commencing at the Northwest corner of the quitclaimed premises on said Main Street at a corner of the fence of the Whitin Machine Works Estate; thence Southerly by said fence and a wall, one hundred and ninety-three (193) feet, more or less, to a corner of the wall; thence Easterly by a Bank wall one hundred and sixty-seven (167) feet, more or less, to the County road; thence Northerly by said County road, one hundred and ninety-three (193) feet, more or less, to said Main Street; thence Westerly on said Main Street one hundred and sixty-seven (167) feet, more or less, to the first mentioned bound.

Subject to rights of the public in that part of the above-described premises which is located on the northeasterly corner thereof and which is now used for highway and sidewalk purposes.

Subject also to any rights and easements pertaining to public utilities and surface water drains.

Said premises are part of the same premises described in said indenture recorded with Worcester District Deeds Book 1117, Page 181, and are shown on plan dated May 1958 by G. Bertrand Bibcault entitled "Town Hall Lot" which plan is to be recorded herewith.

See Worcester Probate Court Case No. 191382 and decree dated April 21, 1958.

The consideration for this deed is such that no documentary stamps are required.

Witness our hands and seals this fifteenth day of May, 1958.

E. Kent Swift
Stuart F. Brown
Philip B. Walker
E. Kent Swift, Jr.
L. M. Fuller
Laurance M. Fuller

The Commonwealth of Massachusetts

Worcester,

ss.

May 15, 1958

Then personally appeared the above named PHILIP B. WALKER

and acknowledged the foregoing instrument to be his free act and deed, before me

Sumner B. Tilton
Sumner B. Tilton, Notary Public

My commission expires January 23, 1965

SECTION III: NARRATIVE REPORT

The Northbridge Memorial Town Hall opened its doors in 1876 and has served as the town hall ever since. Construction on the building began in 1872 and was completed in 1876. It sits on a corner lot donated by the Whitin manufacturing family.

The building is designed in the Classical Revival style having a slate roof with red brick pedimented gables, red brick masonry bearing walls, granite string courses, keystones, sills and a rock-faced granite foundation. The property is listed on the National Register of Historic Places as a contributing building to the Whitinsville Historic District. In the year 2000, a preservation restriction in perpetuity was recorded.

On the interior, the building is remarkably unchanged on the main and upper floors. Naturally finished wood wainscots and door and window trim have never been painted over with opaque finishes. The original main entry doors have been lost at the north portico, but most of the original building fabric from 1876 still survives.

A new stair tower and elevator addition was added to the building circa 2000. This new structure is centered on the south elevation of the building, and provides handicapped access to all three floors of the building. Former window openings on the first and second floors were extended to the floor to serve as new doorways at each level. A large attic, served by a stairway, exists over the second floor meeting room. The attic space is mostly empty and is not considered habitable space, due to the lack of a second means of egress.

On March 30, 2012, the Town of Northbridge applied to Massachusetts Historical Commission (MHC) for an MPPF Round 18 grant to restore the original window frames and sashes of the Town Hall. The Town was notified of its funding allocation of \$45,000 on June 13, 2012.

The Town of Northbridge engaged the architectural preservation firm of McGinley Kalsow & Associates, Inc. to provide designer services for the window restoration project. Construction documents were prepared by MK&A and were used to bid the proposed work on November 7, 2012.

On November 30, 2012, the Northbridge Memorial Town Hall Window Restoration & Weatherization Project received competitive bids under Chapter 149 requirements. The low bidder was The Campbell Construction Group, LLC of Peabody, MA, with a low bid of \$315,300. Their bid included a filed sub-bid amount of \$76,300 for the exterior field painting work. Award of the construction contract was made to the Campbell Construction Group, LLC on January 8, 2013.

The exteriors of the windows were primed with an alkyd primer and painted with two top coats of acrylic paint to match the original two window colors. On the interior, a custom paint color was applied over a primer coat, and then finish coats of polyurethane were applied to the restored window sash and window stops.

Both the Town of Northbridge and MK&A were pleased with the care demonstrated by the Campbell Construction Group in working in an occupied town hall, and with the high level of workmanship

demonstrated. Jeremy Campbell was the project manager and David Campbell, President, was also actively involved in the project. Wojciech Wasilewsky of WW Woodworks was the sub-contractor for the window restoration component of the work.

CAPTIONS FOR PHOTOGRAPHS

Existing conditions photos

1. 2nd Floor Window N001, North Elevation: window sashes, mullions, sills, transom and frame are all severely weathered
2. 2nd Floor Window N006, North Elevation: window sashes, mullions, sills, transom, frame, and overlight are all severely weathered
3. Typical 1st Floor Window (exterior): window sashes, mullions, sills, and frame are all severely weathered
4. Typical 1st Floor Window (interior): window finish is water-damaged due to missing glazing putty, sash cords are broken, and there is glass breakage
5. Typical 2nd Floor Window Sill: window sill, frame, and brick moulding are all severely weathered at south elevation; north elevation sills were in much better condition
6. Attic Window W001, West Elevation: original severely deteriorated round sash is resting on the floor, below a simplified replacement unit.

Window removal photos

7. North Exterior Elevation: During the window removal process, wafer board sheets were installed in all window openings.
8. 2nd Floor Meeting Room: Once removed, window sash were individually numbered to make sure that they were reinstalled in the correct opening. Before being removed from the site, all glazing putty and glass were removed during an abatement process. Approximately two-thirds of all original glass was removed without breakage, and saved for reinstallation.
9. 2nd Floor Meeting Room: Wafer board was secured to the window frame from the outside of the building. Interior window stops were also numbered for reinstallation into the correct opening.

Window restoration shop photos

10. Wojciech Wasilewsky Woodwork Shop: These window sashes have had loose connections mechanically repaired, and deteriorated wood areas repaired with epoxy wood consolidants and patching compounds.
 11. Wojciech Wasilewsky Woodwork Shop: As part of the restoration work, kerfs were cut into the stiles of each sash to receive new metal weatherstripping.
-

more protected west end of the attic. The newly constructed round window was placed at the east end, which has more exposure to the elements.

22. North Window Jamb and Sill at 2nd Floor: The wood surfaces of the interior window frame, sill and adjoining wainscot were not part of the work scope. The wood window stops were part of the work scope and were painted to match the restored sash. Visible in the photo are the new sash lifts, brass grommets on the window stops, and the new metal weather-stripping. The exterior wood window trim will be painted as part of the work scope.
23. South Elevation Sill Repair: Sills on the south side of the building were much more deteriorated than the sills on the north side. Damaged sill surfaces were consolidated and patched with epoxy materials. The inside sills may be restored as part of a future project, still to be determined.



1. 2nd Floor Window N001, North Elevation: window sashes, mullions, sills, transom and frame are all severely weathered



2. 2nd Floor Window N006, North Elevation: window sashes, mullions, sills, transom, frame, and overlight are all severely weathered



3. Typical 1st Floor Window (exterior): window sashes, mullions, sills, and frame are all severely weathered



4. Typical 1st Floor Window (interior): window finish is water-damaged due to missing glazing putty, sash cords are broken, and there is glass breakage



5. Typical 2nd Floor Window Sill: window sill, frame, and brick moulding are all severely weathered at south elevation; north elevation sills were in much better condition



6. Attic Window W001, West Elevation: original severely deteriorated round sash is resting on the floor, below a simplified replacement unit.



7. North Exterior Elevation: During the window removal process, wafer board sheets were installed in all window openings.



8. 2nd Floor Meeting Room: Once removed, window sash were individually numbered to make sure that they were reinstalled in the correct opening. Before being removed from the site, all glazing putty and glass were removed during an abatement process. Approximately two-thirds of all original glass was removed without breakage, and saved for reinstallation.



9. 2nd Floor Meeting Room: Wafer board was secured to the window frame from the outside of the building. Interior window stops were also numbered for reinstallation into the correct opening.



10. Wojciech Wasilewsky Woodwork Shop: These window sashes have had loose connections mechanically repaired, and deteriorated wood areas repaired with epoxy wood consolidants and patching compounds.



11. Wojciech Wasilewsky Woodwork Shop: As part of the restoration work, kerfs were cut into the stiles of each sash to receive new metal weatherstripping.



12. Wojciech Wasilewsky Woodwork Shop: A number of different window sashes were inspected to confirm their original paint color.



13. Wojciech Wasilewsky Woodwork Shop: A number of different paint colors and paint mixes were explored to get the closest match.



14. 2nd Floor Window N002, North Elevation, Exterior View: A window mock-up was installed for review by MK&A, the Town, and MHC, before authorizing a full-scale production effort at the woodwork shop, and installation of completed units.



15. 2nd Floor Window N002, North Elevation, Interior View: The interior of the mock-up was reviewed for paint colors, sash locks and sash lifts, sash chains and pulleys, weatherstripping, glazing appearance, and ease of operation.



16. 2nd Floor Window N002, North Elevation, Interior View: A curved section of window stop taken from the head of one window was placed against the stile of the mock-up window. It was a very close match to the original finish on the curved stop, which had never been over-painted.



17. 2nd Floor Window N002, North Elevation, Interior View: The newly restored and painted window sashes complemented the finishes of the naturally finished wood of the adjoining window frame. The mock-up was approved by MK&A, as well as by representatives from the Town and the local Historical Commission.



18. North Exterior Elevation: From the exterior, the dark chocolate brown color of the sashes de-emphasizes the window frames and muntins, and makes the glass area of each window opening seem larger. The window frames and mullions will be painted a milk chocolate color, as part of the remaining work.



19. North Interior Elevation, 2nd Floor Meeting Room: From the interior, the cleaned glass offers a much greater transparency of light. The lower sashes are all operable, while the upper sashes are fixed in-place, to reduce air infiltration and energy loss.



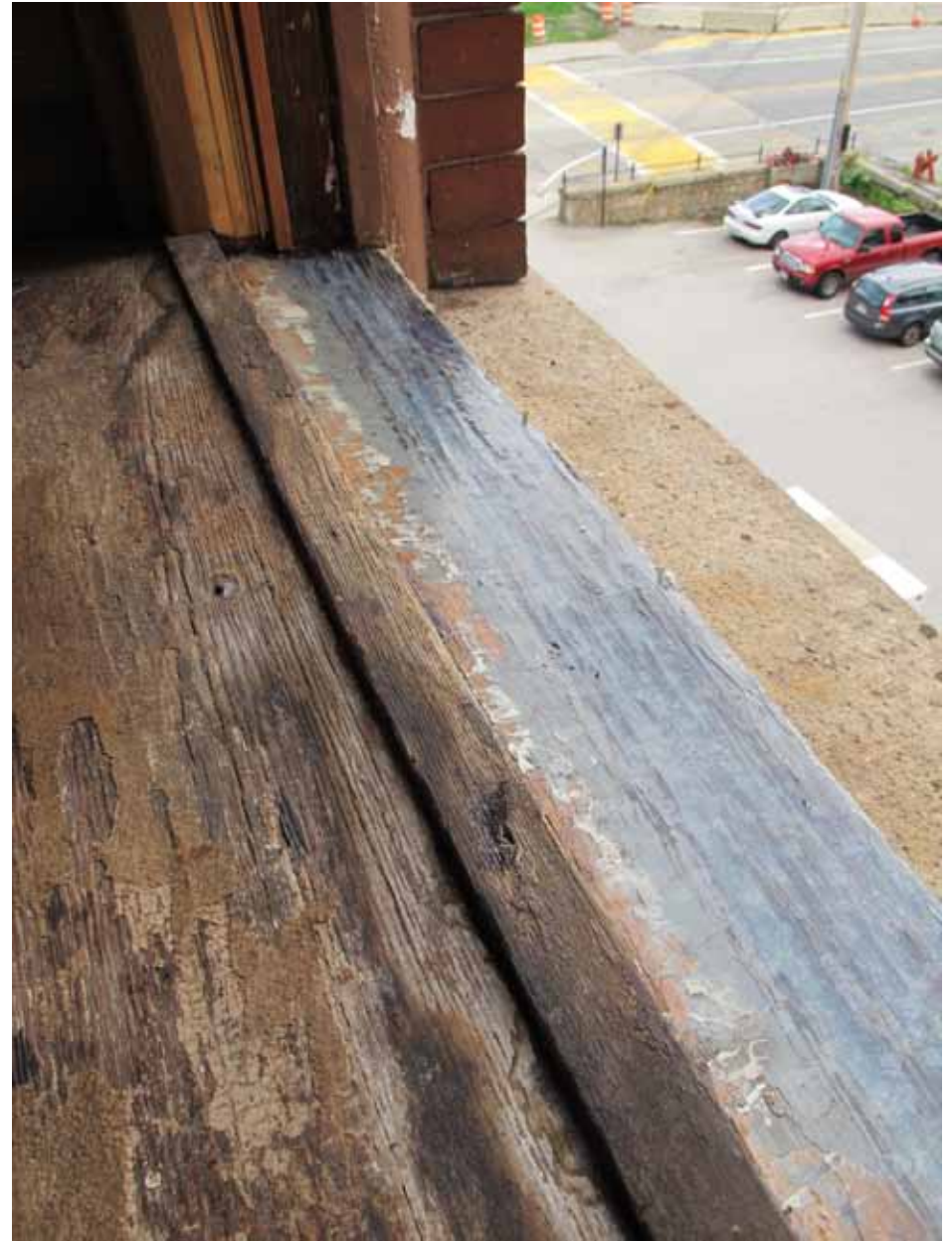
20. North Interior Elevation, 1st Floor Offices: The operation of the restored window sashes is relatively easy, considering that the sash weights only exist at the masonry opening side of each window, and not within the central vertical mullion. The narrow proportions of the windows probably make this possible.



21. Interior Elevation of Round East Attic Window: The original eastern round window had previously been replaced with a simplified new design. After restoration, this window was relocated to the more protected west end of the attic. The newly constructed round window was placed at the east end, which has more exposure to the elements.



22. North Window Jamb and Sill at 2nd Floor : The wood surfaces of the interior window frame, sill and adjoining wainscot were not part of the work scope. The wood window stops were part of the work scope and were painted to match the restored sash. Visible in the photo are the new sash lifts, brass grommets on the window stops, and the new metal weather-stripping. The exterior wood window trim will be painted as part of the work scope.



23. South Elevation Sill Repair: Sills on the south side of the building were much more deteriorated than the sills on the north side. Damaged sill surfaces were consolidated and patched with epoxy materials. The inside sills may be restored as part of a future project, still to be determined.

SECTION IV: STATE SITE VISIT COMMENTS

(To be added by MHC staff)

SECTION V: SPECIAL CONDITIONS

1. Prior to work being undertaken, MHC reviewed and approved the colors chosen for painting the window sashes and frames.

Paint analysis was completed by Historic Paint Consultant Sara B. Chase to determine the original color for the exterior of both the window sash and window trim. The original interior paint color on the window sashes was determined by John Hecker, and the restored sash were painted to match.

2. Expenditure Requirements and Project Deadline: In addition to completing a minimum of \$45,000 worth of MHC - eligible work, the Grantee must document a minimum of \$45,000 (over and above the \$45,000 emergency-type grant expenditure) in allowable project costs and submit acceptable financial documentation of these costs to the Massachusetts Historical Commission within three (3) years.

This documentation is summarized in Paragraph #2, Section II of this report. The Town of Northbridge expended \$409,300 (from line item #4 on Application for Payment No. 4 dated June 21, 2013) on qualified construction costs. See the Financial Documentation in the Appendices of this report for more detailed information.

ARCHITECT/PRESERVATION CONSULTANT CERTIFICATION



McGinley Kalsow
& Associates, Inc.
ARCHITECTS & PRESERVATION PLANNERS

ARCHITECT/PRESERVATION CONSULTANT CERTIFICATION

The Project was accomplished according to the plans and specifications approved by the Commission as described in the project contract and met the Secretary of the Interior's *Standards for the Treatment of Historic Properties*.

A handwritten signature in blue ink that reads 'Wendall C. Kalsow'.

Wendall C. Kalsow, AIA
Principal-in-Charge

July 26, 2013

Date

LIST OF CONTRACTORS & SUB-CONTRACTORS

General Contractor:

Campbell Construction Group, LLC
21 Caller Street – Suite 4
Peabody, MA 01960

Sub-Contractor (Painting):

Homer Contracting, Inc.
195 Broadway
Arlington, MA 02474

PRESERVATION CONSULTANTS

Preservation Architect:

Wendall C. Kalsow, AIA, Principal-in-Charge
John Hecker, AIA, Project Architect
MCGINLEY KALSOW & ASSOCIATES, INC.
324 Broadway
Somerville, MA 02148

Tel: (617) 625-8901

Fax: (617) 625-8902

MHC INVENTORY FORM

Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No: NBD.27
Historic Name: Northbridge Town Hall
Common Name:
Address: 7 Main St
City/Town: Northbridge
Village/Neighborhood: Whitinsville
Local No: 3
Year Constructed:
Architect(s):
Architectural Style(s): Classical Revival
Use(s): Town Hall
Significance: Architecture; Politics Government; Social History
Area(s): NBD.A: Whitinsville Historic District
Designation(s): Nat'l Register District (4/9/1983); Preservation Restriction (2/9/2000)



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site (www.sec.state.ma.us/mhc) under the subject heading "MHC Forms."

Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on:

Wednesday, October 12, 2011 at 11:50 AM

FORM B – BUILDING

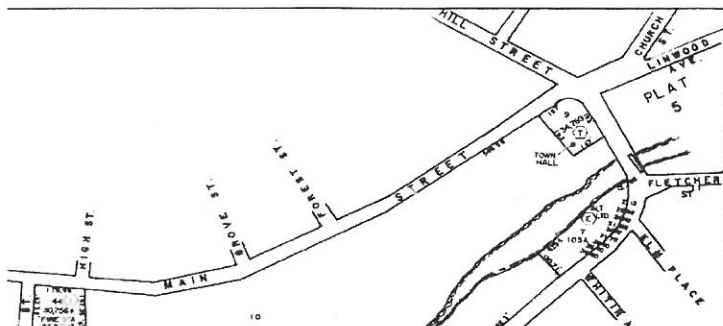
MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Photograph



Locus Map

Assessor Map 2 Parcel 9 (7 Main Street)



Assessor's Number USGS Quad Area(s) Form Number

--	--	--	--

Town/City: Northbridge

Place: (*neighborhood or village*):
Village of Whitinsville

Address: 7 Main Street Whitinsville, MA 01588

Historic Name: Northbridge Memorial Town Hall

Uses: Present: Town Hall

Original: Town Hall

Date of Construction: ca 1872

Source:

Style/Form: Classic Revival w/ elements of Italianate

Architect/Builder: Unknown

Exterior Material:

Foundation: Granite

Wall/Trim: Brick

Roof: Slate

Outbuildings/Secondary Structures:
n/a –None

Major Alterations (*with dates*):

Glass/metal doors (1970s)

Addition -Elevator/stairwell (1998)

New Slate Roof (2000)

Condition: Good

Moved: no ☐ yes ☐ **Date:** n/a

Acreage: .798 acres / (±34,769 square-feet)

Setting:

Corner of Main Street & Douglas Road

North elevations fronts Main Street

East elevation fronts Douglas Road

Southerly elevation also viewable from Douglas Road

Recorded by:

Organization:

Date (*month / year*):

INVENTORY FORM B CONTINUATION SHEET

TOWN **Northbridge** ADDRESS **7 Main St Whitinsville**

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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(1865) were established. Whitinsville and the Whitin family's industrial operations continued to dominate Northbridge in the late Industrial Period (1870-1915). By the beginning of the 20th century, Northbridge was a thoroughly industrial town with parts of it densely populated, where 78% of the men were employed in the factories. The construction of a streetcar line from Northbridge to Worcester in the 1890s gave residents access to the larger stores of the city, putting an end to Northbridge Center as a commercial focus, although Church Street in Whitinsville began to develop as a local commercial district. Streetcar service was replaced by improved roadways for automotive traffic during the 1920s. The Whitin family's factories continued to prosper until a depression hit the textile industry in 1923. This economic downturn forced the closure of cotton mills throughout the region, including the Whitinsville Cotton Company, the Linwood Cotton Company, and mills in Rockdale and Riverdale. The Whitin Machine Works put most of the buildings to use for some part of their continuing operation, and carried the business through to a brief spike in activity during World War II, when the company manufactured magnetos for American aircraft. Labor unrest and worker strikes in the late 1940s discouraged the Whitins from further involvement in industry. Over the next decade they sold their business interests in Northbridge, as well as the company housing and farm. Today Northbridge is no longer a company town, but memories of that long era remain, kept alive in many of the buildings and structures that define its heritage Landscape.

BIBLIOGRAPHY and/or REFERENCES

Thomas R. Navin, *Whitin Machine Works Since 1831: a textile machinery company in an industrial village*

Town of Northbridge Bicentennial Commemorative Journal (1772-1972)

Newspaper clippings –Whitinsville Social Library Historical Room

* R. Christopher Noonan, *Preservation Specialist -National Park Service*

** DCR & the John H. Chafee Blackstone River Valley National Heritage Corridor Commission [Northbridge Reconnaissance Report 2007]

INVENTORY FORM B CONTINUATION SHEET

TOWN **Northbridge** ADDRESS **7 Main St Whitinsville**

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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[Delete this page if no Criteria Statement is prepared]

National Register of Historic Places Criteria Statement Form

Check all that apply:

- ☐ Individually eligible ☐ Eligible **only** in a historic district
- ☐ Contributing to a potential historic district ☐ Potential historic district

Criteria: ☐ **A** ☐ **B** ☐ **C** ☐ **D**

Criteria Considerations: ☐ **A** ☐ **B** ☐ **C** ☐ **D** ☐ **E** ☐ **F** ☐ **G**

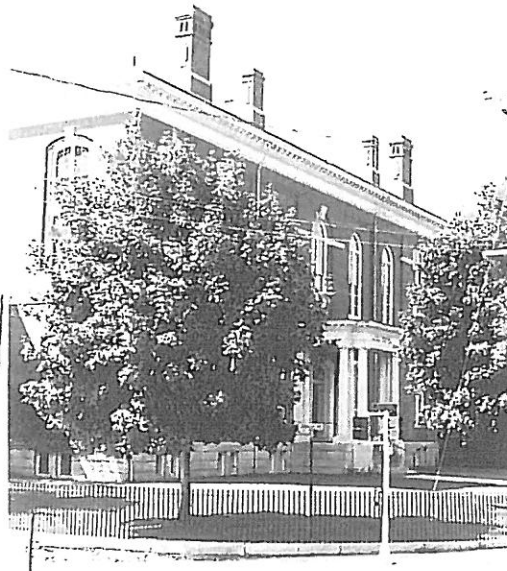
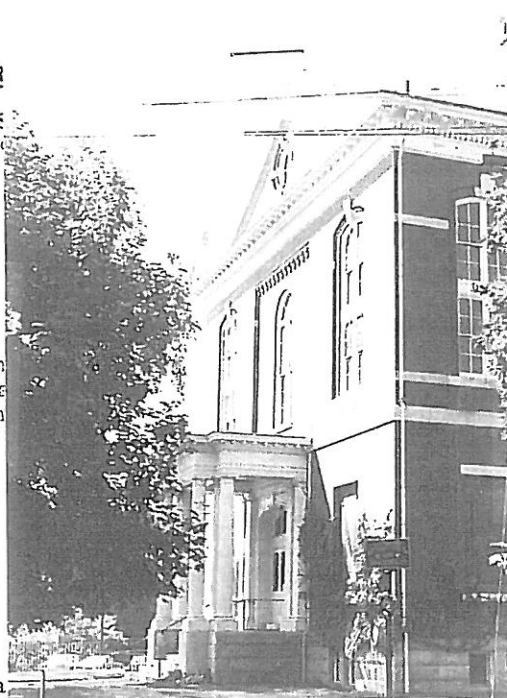
Statement of Significance by _____
The criteria that are checked in the above sections must be justified here.

FOR

MASS
Office

2. Ph
Sta
Ph

4. Ma
in
oth



Douglas Rd



Main St

(over)

NBD.27

In Area no.	Form no.
1	2

1. Town Northbridge - Whitinsville
Address Douglas Road
Name Northbridge Town Hall
Present use Town Hall

Present owner Town of Northbridge

3. Description:

Date ca 1872

Source Exterior

Style Elements of Italianate

Architect Unknown

Exterior wall fabric Brick/Granite trim

Outbuildings (describe) None

Other features Recessed wall panels

with corbelling, arched window heads

with granite keystones, pedimented

gables with keystone oculus

Altered Main Street Date 1970s

Moved No Date

Entry porches with unfluted columns

Lot size: across street adjacent to (apt. bldg)

One acre or less X Over one acre

Approximate frontage

Approximate distance of building from street

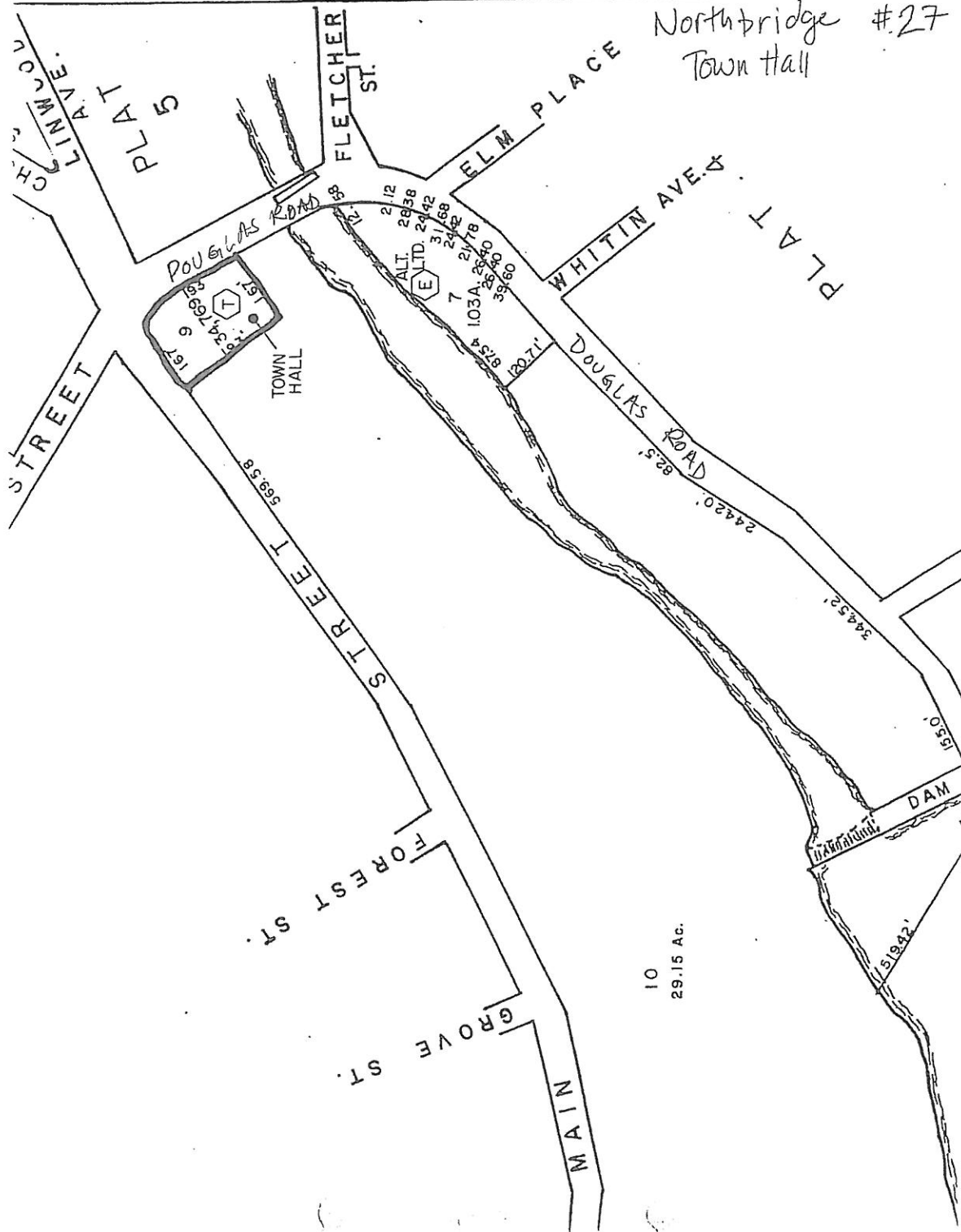
Recorded by Northbridge Historical

Organization Commission

Date

NBD.27

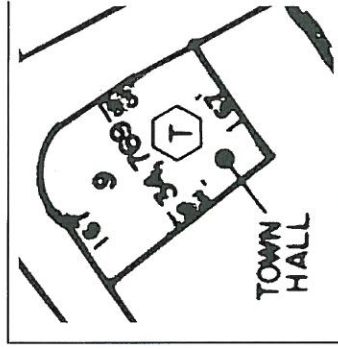
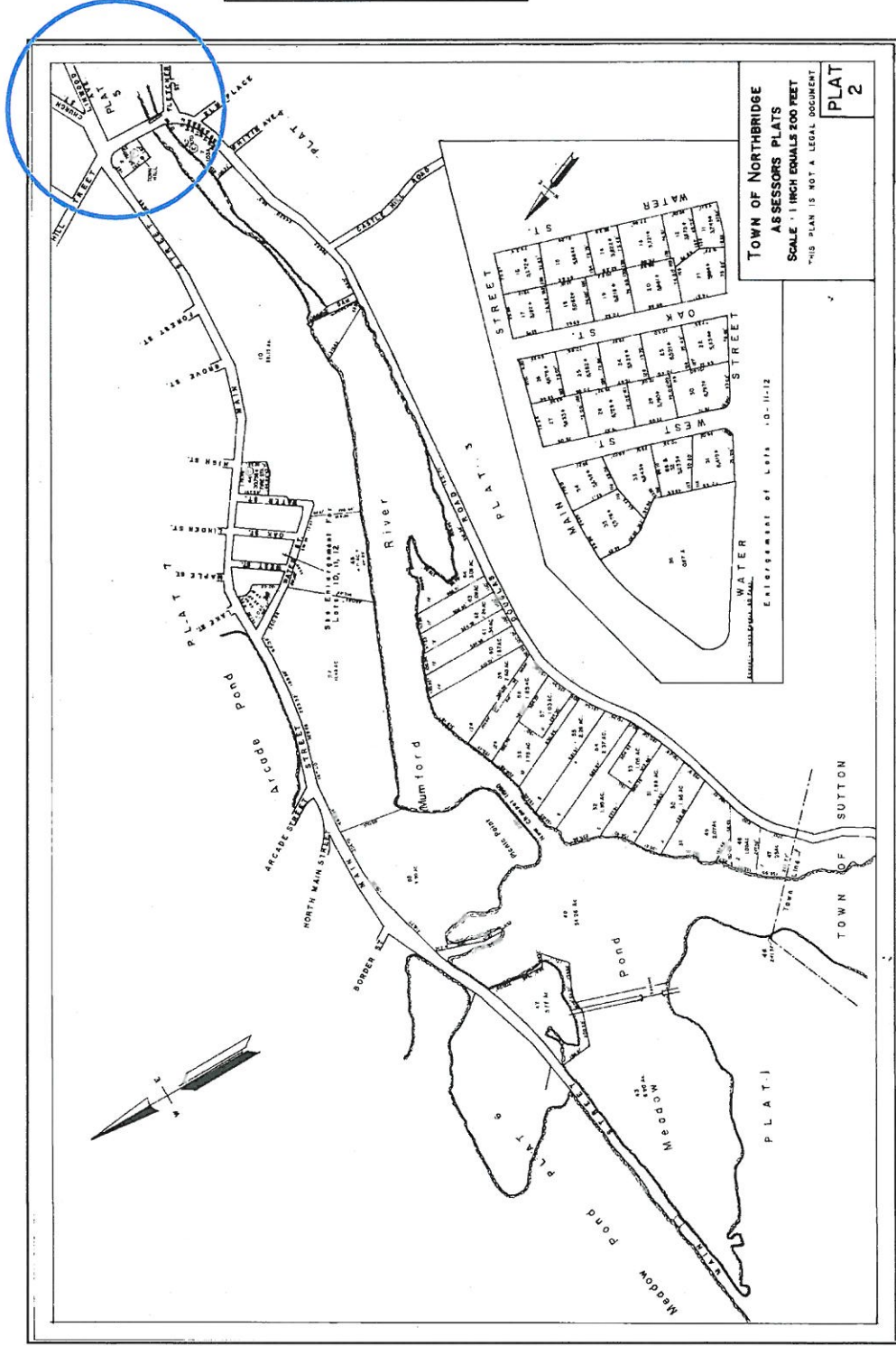
Northbridge #27
Town Hall





PROPERTY LOCATION MAP

Assessors Map



Northbridge Town Hall
7 Main Street
Assessors Map 2 Parcel 9

WINDOW RESTORATION & WEATHERIZATION



FINANCIAL DOCUMENTATION

APPLICATION FOR PAYMENT

CAP702

Page: 1 of 3

TO: Town of Northbridge 7 Main St Town Hall Whitinsville, MA 01588		PROJECT: TH NORTHBRIDGE Town Hall Northbridge Window Rest'n	
FROM CONTRACTOR: Campbell Construction Group, LLC 21 Callier St Ste 4 Peabody, MA 01960		VIA ARCHITECT: McGinley Kalso & Associates, Inc 324 Broadway Somerville, MA 02145	
CONTRACT FOR:		CONTRACT NO.: Application Date: Period To: Contract Date: 1 MAR 21, 2013 MAR 21, 2013 JAN 8, 2013	
DISTRIBUTION LIST:		OWNER:	
<input type="checkbox"/> Architect		<input type="checkbox"/> Construction Mgr	
<input type="checkbox"/> Contractor		<input type="checkbox"/> Field	
<input type="checkbox"/> Other		<input type="checkbox"/> Other	

Contractor's Application for Payment

Application is made for payment as shown below, with attached Continuation Sheet.

1. Original Contract Amount:	\$	489,500.00
2. Net of Change Orders:	\$	7,800.00
3. Net Amount of Contract:	\$	477,300.00
4. Total Completed & Stored to Date:	\$	73,650.00
5. Retainage Summary:		
a. 5.00 % of Completed Work	\$	3,682.50
b. 5.00 % of Stored Material	\$	0.00
Total Retainage:	\$	3,682.50
6. Total Completed Less Retainage:	\$	69,967.50
7. Less Previous Applications:	\$	0.00
8. Current Payment Due, This Application:	\$	69,967.50
9. Contract Balance (Including Retainage):	\$	407,332.50
CHANGE ORDER Activity		
Total previously approved:	0.00	0.00
Total approved this Month:	52,000.00	-44,200.00
Sub Totals:	52,000.00	-44,200.00
NET of Change Orders:		7,800.00

CONTRACTOR'S CERTIFICATION:

The Contractor's signature here certifies that, to the best of their knowledge, this document accurately reflects the work completed in this Application for Payment. The Contractor also certifies that all payments have been made for work on previous Applications for Payment and also that the Current Payment is Due.

(Authorizing Signature)

Campbell Construction Group, LLC

Date: MAR 21, 2013

State Authorized: Massachusetts

County of: Essex

Subscribed and sworn to before me this 21 day of MAR '13

Notary Public:

My Commission expires:

ARCHITECT'S CERTIFICATION:

The Architect's signature here certifies that, based on their own observations, the Contract Documents and the information contained herein, this document accurately reflects the work completed in this Application for Payment. The Architect also certifies the Contractor is entitled to the amount certified for payment.

AMOUNT CERTIFIED:

\$69,967.50

(Architect's Signature)

John C. Kalso

Date:

3/21/2013

APPLICATION FOR PAYMENT - CONTINUATION SHEET

CAP703

Page 2 of 3 Pages

From:

Campbell Construction Group, LLC
21 Caller St
Ste 4
Peabody, MA 01960

To:

Town of Northbridge
7 Main St
Town Hall
Whitinsville, MA 01588

Project:

TH NORTHBRIDGE
Town Hall Northbridge Window Rest'n

Application No:

1

Application Date: 3/21/2013

Period To: 3/21/2013

Contract Date: 1/08/2013

Architects Project#:

A Item No	B Description of Work	C Contract Value	D Work Completed From Previous Application (D + E)	E This Period	F Materials Presently Stored (Not In D or E)	G Total Completed and Stored To Date (D+E+F)	H Balance To Finish (C - G)	I Retainage (If Variable Rate)
1	Bonds	7,500.00	0.00	7,500.00	0.00	7,500.00	0.00	375.00
	Contract Discrepancy	7,800.00-	0.00	0.00	0.00	0.00	7,800.00-	0.00
2	Scaffolding	15,000.00	0.00	3,750.00	0.00	3,750.00	11,250.00	187.50
3	BASE BID	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Window Removal & Plywood	24,000.00	0.00	21,600.00	0.00	21,600.00	2,400.00	1,080.00
	Asbestos Abatement	22,000.00	0.00	22,000.00	0.00	22,000.00	0.00	1,100.00
	Window Restoration	72,000.00	0.00	0.00	0.00	0.00	72,000.00	0.00
	Window Painting	76,300.00	0.00	0.00	0.00	0.00	76,300.00	0.00
	Window Hardware	15,600.00	0.00	0.00	0.00	0.00	15,600.00	0.00
	Window Installation	82,900.00	0.00	0.00	0.00	0.00	82,900.00	0.00
4	ALTERNATE #1	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Removal & Plywood	12,000.00	0.00	10,800.00	0.00	10,800.00	1,200.00	540.00
	Asbestos Abatement	8,000.00	0.00	8,000.00	0.00	8,000.00	0.00	400.00
	Window Restoration	24,000.00	0.00	0.00	0.00	0.00	24,000.00	0.00
	Round Window Fabrication	6,000.00	0.00	0.00	0.00	0.00	6,000.00	0.00
	Hardware	6,000.00	0.00	0.00	0.00	0.00	6,000.00	0.00
	Installation	38,000.00	0.00	0.00	0.00	0.00	38,000.00	0.00
	Masonry	16,000.00	0.00	0.00	0.00	0.00	16,000.00	0.00
5	ALTERNATE #2	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Storm Windows	18,000.00	0.00	0.00	0.00	0.00	18,000.00	0.00
	Installation	6,300.00	0.00	0.00	0.00	0.00	6,300.00	0.00
6	ALTERNATE #3	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Demolition	6,000.00	0.00	0.00	0.00	0.00	6,000.00	0.00
	New Window	8,000.00	0.00	0.00	0.00	0.00	8,000.00	0.00
	Ext & Int Finish	10,500.00	0.00	0.00	0.00	0.00	10,500.00	0.00
		486,300.00	0.00	73,650.00	0.00	73,650.00	392,650.00	3,682.50

APPLICATION FOR PAYMENT - CONTINUATION SHEET

Page 3 of 3 Pages

CAP703

From:

Campbell Construction Group, LLC
21 Caller St
Ste 4
Peabody, MA 01960

To:

Town of Northbridge
7 Main St
Town Hall
Whitinsville, MA 01588

Project:

TH NORTHBRIDGE
Town Hall Northbridge Window Rest'n

Application No: 1

Application Date: 3/21/2013

Period To: 3/21/2013

Contract Date: 1/08/2013

Architects Project#:

A	B	C	D	E	F	G	H	I	
Item No	Description of Work	Contract Value	Work Completed From Previous Application (D + E)	Work Completed This Period	Materials Presently Stored (Not In D or E)	Total Completed and Stored To Date (D+E+F)	% (G / C)	Balance To Finish (C - G)	Retainage (If Variable Rate)
7	Painting	3,200.00	0.00	0.00	0.00	0.00	0	3,200.00	0.00
8	Punch List	0.00	0.00	0.00	0.00	0.00	0	0.00	0.00
9	CO #1 (dated 3.15.13)	44,200.00	0.00	0.00	0.00	0.00	0	44,200.00	0.00
10	CO #2 (dated 3.21.13)	24,300.00	0.00	0.00	0.00	0.00	0	24,300.00	0.00
	CO #3 (dated 3.21.13)	27,700.00	0.00	0.00	0.00	0.00	0	27,700.00	0.00
		477,300.00	0.00	73,650.00	0.00	73,650.00	15	403,650.00	3,682.50

APPLICATION FOR PAYMENT

CAP702
Page: 1 of 3

To:		PROJECT	
Town of Northbridge 7 Main St Town Hall Whitinsville, MA 01588		TH NORTHBRIDGE Town Hall Northbridge Window Rest'n	
From Contractor:		VIA ARCHITECT	
Campbell Construction Group, LLC 21 Caller St Site 4 Peabody, MA 01960		McGinley Kalso & Associates, Inc 324 Broadway Somerville, MA 02145	
CONTRACT FOR		CONTRACT FOR	
Application No.		Application Date	
2		APR 2, 2013	
Period To		Contract Date	
APR 2, 2013		JAN 8, 2013	
Project Nos		Distribution List	
		Owner <input type="checkbox"/> Architect <input type="checkbox"/> Contractor <input checked="" type="checkbox"/>	
		Construction Mgr <input type="checkbox"/> Field <input type="checkbox"/> Other <input type="checkbox"/>	

Contractor's Application for Payment

Application is made for payment as shown below, with attached Continuation Sheet.

1. Original Contract Amount: \$ 469,500.00
2. Net of Change Orders: \$ 7,800.00
3. Net Amount of Contract: \$ 477,300.00
4. Total Completed & Stored to Date: \$ 85,650.00
5. Retainage Summary:
 - a. 5.00 % of Completed Work \$ 4,282.50
 - b. 5.00 % of Stored Material \$ 0.00

6. Total Completed Less Retainage: \$ 81,367.50
7. Less Previous Applications: \$ 69,967.50

8. Current Payment Due, This Application: \$ 11,400.00

9. Contract Balance (Including Retainage): \$ 395,932.50

CHANGE ORDER Activity		Subtractions	
Total previously approved:	52,000.00	Additions	-44,200.00
Total approved this Month:	0.00		0.00
Sub Totals:	52,000.00		-44,200.00
NET of Change Orders:	7,800.00		

CONTRACTOR'S CERTIFICATION:

The Contractor's signature here certifies that, to the best of their knowledge, this document accurately reflects the work completed in this Application for Payment. The Contractor also certifies that all payments have been made for work on previous Applications for Payment and also that the Current Payment is Due.

(Authorizing Signature)

[Signature]
Campbell Construction Group, LLC

Date: APR 2, 2013

State Authorized: Massachusetts

County of: Essex

Subscribed and sworn to before me this 2nd day of April '13

Notary Public:

My Commission expires: 3-7-14

ARCHITECT'S CERTIFICATION:

The Architect's signature here certifies that, based on their own observations, the Contract Documents and the information contained herein, this document accurately reflects the work completed in this Application for Payment. The Architect also certifies the Contractor is entitled to the amount certified for payment.

AMOUNT CERTIFIED:

\$11,400

(Architect's Signature)

Date: 4/3/2013

APPLICATION FOR PAYMENT - CONTINUATION SHEET

CAP703 Page 2 of 3 Pages

From:

Campbell Construction Group, LLC
21 Caller St
Ste 4
Peabody, MA 01960

To:

Town of Northbridge
7 Main St
Town Hall
Whitinsville, MA 01588

Project:

TH NORTHBRIDGE
Town Hall Northbridge Window Rest'n

Application No. 2

Application Date 4/02/2013

Period To 4/02/2013

Contract Date 1/08/2013

Architects Project#:

A	B	C	D	E	F	G	H	I
Item No	Description of Work	Contract Value	From Previous Application (D + E)	Work Completed This Period	Materials Presently Stored (Not In D or E)	Total Completed and Stored To Date (D+E+F)	Balance To Finish (C - G)	Retainage (If Variable Rate)
1	Bonds ✓	7,500.00	7,500.00	0.00	0.00	7,500.00	0.00	375.00
2	Contract Discrepancy	7,800.00	0.00	0.00	0.00	0.00	7,800.00	0.00
3	Scaffolding ✓	15,000.00	3,750.00	0.00	0.00	3,750.00	11,250.00	187.50
	BASE BID	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Window Removal & Plywood ✓	24,000.00	21,600.00	0.00	0.00	21,600.00	2,400.00	1,080.00
	Asbestos Abatement ✓	22,000.00	22,000.00	0.00	0.00	22,000.00	0.00	1,100.00
	Window Restoration	72,000.00	0.00	0.00	0.00	0.00	72,000.00	0.00
	Window Painting	76,300.00	0.00	0.00	0.00	0.00	76,300.00	0.00
	Window Hardware	15,600.00	0.00	0.00	0.00	0.00	15,600.00	0.00
	Window Installation	82,900.00	0.00	0.00	0.00	0.00	82,900.00	0.00
4	ALTERNATE #1	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Removal & Plywood ✓	12,000.00	10,800.00	0.00	0.00	10,800.00	1,200.00	540.00
	Asbestos Abatement ✓	8,000.00	8,000.00	0.00	0.00	8,000.00	0.00	400.00
	Window Restoration ✓	24,000.00	0.00	4,800.00	0.00	4,800.00	19,200.00	240.00
	Round Window Fabrication ✓	6,000.00	0.00	6,000.00	0.00	6,000.00	0.00	300.00
	Hardware ✓	6,000.00	0.00	1,200.00	0.00	1,200.00	4,800.00	60.00
	Installation	38,000.00	0.00	0.00	0.00	0.00	38,000.00	0.00
5	Masonry	16,000.00	0.00	0.00	0.00	0.00	16,000.00	0.00
	ALTERNATE #2	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Storm Windows	18,000.00	0.00	0.00	0.00	0.00	18,000.00	0.00
	Installation	6,300.00	0.00	0.00	0.00	0.00	6,300.00	0.00
6	ALTERNATE #3	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Demolition	6,000.00	0.00	0.00	0.00	0.00	6,000.00	0.00
	New Window	8,000.00	0.00	0.00	0.00	0.00	8,000.00	0.00
	Ext & Int Finish	10,500.00	0.00	0.00	0.00	0.00	10,500.00	0.00
		466,300.00	73,650.00	12,000.00	0.00	85,650.00	380,650.00	4,282.50
							18	

Software by: PEW Software Systems, Inc. 1-800-503-1315 Copyright 2007

4/3/2013

APPLICATION FOR PAYMENT - CONTINUATION SHEET

CAP703

Page 3 of 3 Pages

From:		To:		Project:		Application No. 2		
Campbell Construction Group, LLC 21 Caller St Ste 4 Peabody, MA 01960		Town of Northbridge 7 Main St Town Hall Whitinsville, MA 01588		TH NORTHBRIDGE Town Hall Northbridge Window Rest'n		Application Date: 4/02/2013 Period To: 4/02/2013 Contract Date: 1/08/2013 Architects Project#:		
A Item No	B Description of Work	C Contract Value	D From Previous Application (D + E)	E Work Completed This Period	F Materials Presently Stored (Not In D or E)	G Total Completed and Stored To Date (D+E+F)	H Balance To Finish (C - G)	I Retainage (If Variable Rate)
7	Painting	3,200.00	0.00	0.00	0.00	0.00	3,200.00	0.00
8	Punch List	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9	CO #1 (dated 3.15.13)	44,200.00	0.00	0.00	0.00	0.00	44,200.00	0.00
10	CO #2 (dated 3.21.13)	24,300.00	0.00	0.00	0.00	0.00	24,300.00	0.00
	CO #3 (dated 3.21.13)	27,700.00	0.00	0.00	0.00	0.00	27,700.00	0.00
		477,300.00	73,650.00	12,000.00	0.00	85,650.00	391,650.00	4,282.50

get
4/3/2013



TOWN OF NORTHBRIDGE
VENDOR ACCOUNT
7 MAIN STREET
WHITINSVILLE, MA 01568

UNIBANK FOR SAVINGS
WHITINSVILLE, MA
59-72372113

CHECK NO.
202330

202330

CHECK AMOUNT

VENDOR 1554 05/02/2013

\$81,367.50

*****81,367 DOLLARS AND 50 CENTS

PAY
TO THE
ORDER

CAMPBELL CONSTRUCTION, LLC
21 CALLER ST. STE4
PEABODY MA 01960

Kimberly A. Yargason

Town Treasurer

11th 20233011th 12 1 1 3 3 7 2 3 7 8 1st 88 0 2 2 2 4 7 6 11th

SECURITY FEATURES INCLUDED. DETAILS ON BACK.

202330

202330

TOWN OF NORTHBRIDGE, VENDOR ACCOUNT, 7 MAIN ST., WHITINSVILLE, MA 01568

33-44

INVOICE DATE	INVOICE NUMBER	INVOICE DESCRIPTION	NET INVOICE AMOUNT	PO NO	VOUCHER
04/29/13 04/29/13	1 2	BPCC	69,967.50 11,400.00		163858 163859

Image of Check Number 487906130002649

[illegible]

CAP702

Page: 1 of 3

PROJECT:

TH NORTHBRIDGE
Town Hall Northbridge Window Rest'n

Campbell Construction Group, LLC
21 Caller St
Ste 4
Peabody, MA 01960

VIA ARCHITECT:

McGinley Kalso & Associates, Inc
324 Broadway
Somerville, MA 02145

CONTRACT FOR:

CONTRACTOR'S CERTIFICATION:

Application is made for payment as shown below, with attached Continuation Sheet.

1. Original Contract Amount:	\$ 469,500.00
2. Net of Change Orders:	\$ 11,529.00
3. Net Amount of Contract:	\$ 481,029.00
4. Total Completed & Stored to Date:	\$ 134,605.00
5. Retainage Summary:	

a. 5.00	% of Completed Work	\$ 6,730.25
b. 5.00	% of Stored Material	\$ 0.00

Total Retainage: \$ 6,730.25

6. Total Completed Less Retainage:	\$ 127,874.75
7. Less Previous Applications:	\$ 81,367.50

3. Current Payment Due, This Application: \$ 46,507.25

3. Contract Balance (Including Retainage): \$ 353,154.25

CHANGE ORDER Activity	Additions	Subtractions
Total previously approved:	52,000.00	44,200.00

Total approved this Month:	3,729.00	0.00
----------------------------	----------	------

Sub Totals:	55,729.00	-44,200.00
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NET of Change Orders 11,529.00

Software by: PEM Software Systems, Inc. 1-800-803-1315 Copyright 2007.

Date: APR 25, 2013
State Authorized: Massachusetts
County of: Essex

Subscribed and sworn to before
me this 29th day of April
Notary Public: _____
My Commission expires: _____

ARCHITECT'S CERTIFICATION:

The Architect's signature here certifies that, based on their own observations, the Contract Documents and the information contained herein, this document accurately reflects the work completed in this Application for Payment. The Architect also certifies the Contractor is entitled to the amount certified for payment.

AMOUNT CERTIFIED:

(Architects Signature)

Date:

APPLICATION FOR PAYMENT - CONTINUATION SHEET

CAP703

Page 2 of 3 Pages

From:		To:		Project:		Application No: 3		Application Date: 4/25/2013		Period To: 4/25/2013		Contract Date: 1/08/2013		Architects Project#:	
Campbell Construction Group, LLC 21 Caller St Ste 4 Peabody, MA 01960		Town of Northbridge 7 Main St Town Hall Whitinsville, MA 01588		TH NORTHBRIDGE Town Hall Northbridge Window Rest'n											
A	B	C	D	E	F	G	H	I							
Item No	Description of Work	Contract Value	From Previous Application (D + E)	This Period	Materials Presently Stored (Not In D or E)	Total Completed and Stored To Date (D+E+F)	% (G / C)	Balance To Finish (C - G)	Retainage (If Variable Rate)						
1	Bonds	7,500.00	7,500.00	0.00	0.00	7,500.00	100	0.00	375.00						
2	Contract Discrepancy	7,800.00-	0.00	0.00	0.00	0.00	0	7,800.00-	0.00						
3	Scaffolding	15,000.00	3,750.00	3,750.00	0.00	7,500.00	50	7,500.00	375.00						
	BASE BID	0.00	0.00	0.00	0.00	0.00	0	0.00	0.00						
	Window Removal & Plywood	24,000.00	21,600.00	0.00	0.00	21,600.00	90	2,400.00	1,080.00						
	Asbestos Abatement	22,000.00	22,000.00	0.00	0.00	22,000.00	100	0.00	1,100.00						
	Window Restoration	72,000.00	0.00	18,000.00	0.00	18,000.00	25	54,000.00	900.00						
	Window Painting	76,300.00	0.00	15,260.00	0.00	15,260.00	20	61,040.00	763.00						
	Window Hardware	15,600.00	0.00	7,800.00	0.00	7,800.00	50	7,800.00	390.00						
	Window Installation	82,900.00	0.00	4,145.00	0.00	4,145.00	5	78,755.00	207.25						
4	ALTERNATE #1	0.00	0.00	0.00	0.00	0.00	0	0.00	0.00						
	Removal & Plywood	12,000.00	10,800.00	0.00	0.00	10,800.00	90	1,200.00	540.00						
	Asbestos Abatement	8,000.00	8,000.00	0.00	0.00	8,000.00	100	0.00	400.00						
	Window Restoration	24,000.00	4,800.00	0.00	0.00	4,800.00	20	19,200.00	240.00						
	Round Window Fabrication	6,000.00	6,000.00	0.00	0.00	6,000.00	100	0.00	300.00						
	Hardware	6,000.00	1,200.00	0.00	0.00	1,200.00	20	4,800.00	60.00						
	Installation	38,000.00	0.00	0.00	0.00	0.00	0	38,000.00	0.00						
	Masonry	16,000.00	0.00	0.00	0.00	0.00	0	16,000.00	0.00						
5	ALTERNATE #2	0.00	0.00	0.00	0.00	0.00	0	0.00	0.00						
	Storm Windows	18,000.00	0.00	0.00	0.00	0.00	0	18,000.00	0.00						
	Installation	6,300.00	0.00	0.00	0.00	0.00	0	6,300.00	0.00						
6	ALTERNATE #3	0.00	0.00	0.00	0.00	0.00	0	0.00	0.00						
	Demolition	6,000.00	0.00	0.00	0.00	0.00	0	6,000.00	0.00						
	New Window	8,000.00	0.00	0.00	0.00	0.00	0	8,000.00	0.00						
	Ext & Int Finish	10,500.00	0.00	0.00	0.00	0.00	0	10,500.00	0.00						
		466,300.00	85,650.00	48,955.00	0.00	134,605.00	29	331,695.00	6,730.25						

CAP703

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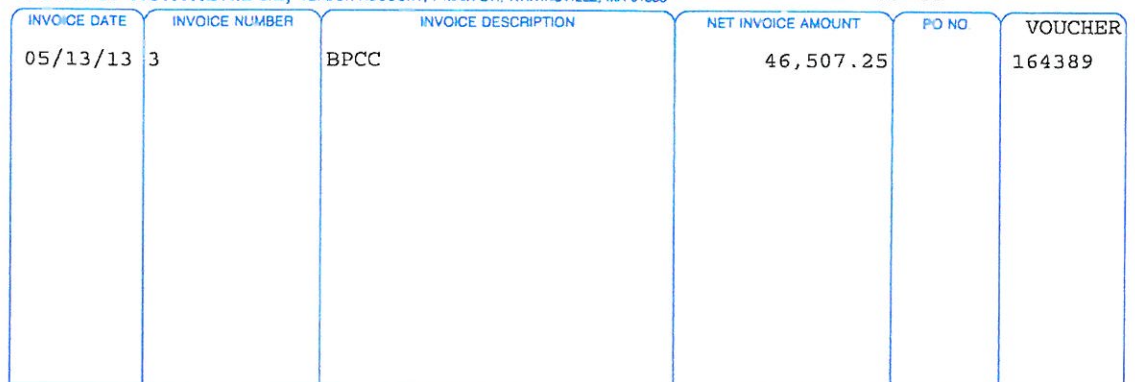


Image of Check Number 490306130002763

Check Number 490306130002763

Check Date 05/24/2013

Check Amount \$1,000.00

Pay to the order of

JOHN DOE

Signature of John Doe

JOHN DOE

Address: 1234 Main St, Anytown, NY 12345

Phone: (555) 123-4567

Bank: First National Bank

Branch: Main Branch

Routing Number: 123456789

Account Number: 987654321

Check Number 490306130002763

Check Date 05/24/2013

Check Amount \$1,000.00

Pay to the order of

JOHN DOE

Signature of John Doe

JOHN DOE

Address: 1234 Main St, Anytown, NY 12345

Phone: (555) 123-4567

Bank: First National Bank

Branch: Main Branch

Routing Number: 123456789

Account Number: 987654321

APPLICATION FOR PAYMENT - CONTINUATION SHEET

CAP703 Page 3 of 3 Pages

From:

Campbell Construction Group, LLC
21 Caller St
Ste 4
Peabody, MA 01960

To:

Town of Northbridge
7 Main St
Town Hall
Whitinsville, MA 01588

Project:

TH NORTHBRIDGE
Town Hall Northbridge Window Rest'n

Application No:

4

Application Date: 6/21/2013

Period To: 6/21/2013

Contract Date: 1/08/2013

Architects Project#:

A Item No	B Description of Work	C Contract Value	D Work Completed From Previous Application (D + E)	E This Period	F Materials Presently Stored (Not In D or E)	G Total Completed and Stored To Date (D+E+F)	H Balance To Finish (C - G)	I Retainage (If Variable Rate)
7	Painting	3,200.00	0.00	0.00	0.00	0.00	3,200.00	0.00
8	Punch List	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9	CO #1 (dated 3.15.13)	44,200.00	0.00	0.00	0.00	0.00	44,200.00	0.00
10	CO #2 (dated 3.21.13)	24,300.00	0.00	0.00	0.00	0.00	24,300.00	0.00
11	CO #3 (dated 3.21.13)	27,700.00	0.00	0.00	0.00	0.00	27,700.00	0.00
12	CO #4 (dated 4.3.13)	3,729.00	0.00	0.00	0.00	0.00	3,729.00	0.00
12	CO #5 (dated 6.3.13)	33,634.00	0.00	0.00	0.00	0.00	33,634.00	0.00
		514,663.00	134,605.00	274,695.00	0.00	409,300.00	105,363.00	20,485.00

203

TOWN OF NORTHERIDGE

CHECK NO
203470

CHECK DATE
1554 06/27/2013
DOLLARS AND CENTS
\$260,960.25

****260,960 DOLLARS AND 25 CENTS

PAY
CAMPBELL CONSTRUCTION, LLC
21 CALLER ST. STE4
PEABODY MA 01960

Kimberly A. Fargnoli

⑈203470⑈ ⑆211372378⑆ 88 0222476⑈

203470

203470

TOWN OF NORTHERIDGE

33-52

06/26/13 4 BPCC 260,960.25 166004 VOUCHER

Image of Check Number 493206130002623

[illegible]

CHANGE ORDER

OWNER ☒
ARCHITECT ☒
CONTRACTOR ☒
FIELD ☐
OTHER ☐

AIA Document G701

PROJECT:

(Name and Address)

Northbridge Memorial Town Hall
7 Main Street
Whitinsville, MA 01588

CHANGE ORDER NUMBER: 2

DATE: 3/21/2013

ARCHITECT'S PROJECT NO: 1616

CONTRACT DATE: December 27, 2012

CONTRACT FOR: Window Restoration &
Weatherization Project

TO CONTRACTOR:

(Name and Address)

Campbell Construction Group, LLC
21 Caller Street – Suite 4
Peabody, MA 01757

The Contract is changed as follows:

1. Add Alternate #2 (storm windows) to the current scope of work +\$24,300

Not valid until signed by the Owner, Architect and Contractor

The original Contract Sum was \$469,500

Net change by previously authorized Change Orders -\$44,200

The Contract Sum prior to this Change Order was \$425,300

The Contract Sum will be increased by this Change Order in the amount of \$24,300

The new Contract Sum, including this Change Order, will be \$449,600

The Contract Time will be unchanged.

The date of Substantial Completion as of the date of this Change Order therefore is 6/14/2013.

NOTE: This summary does not reflect changes in the contract sum Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive.

McGinley Kalsow & Associates

Campbell Construction Group

Town of Northbridge, MA

Architect

324 Broadway, Somerville, MA 02145

Contractor

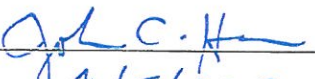
21 Caller St, Peabody, MA 01960

Owner

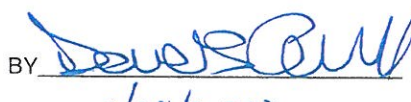
7 Main St., Whitinsville, MA 01588

Address


BY


DATE 4/15/2013

BY


DATE 4/10/2013

BY


DATE 4/23/13

MKA ✓

CHANGE ORDER

OWNER ☒
ARCHITECT ☒
CONTRACTOR ☒
FIELD ☐
OTHER ☐

AIA Document G701

PROJECT:
(Name and Address)
Northbridge Memorial Town Hall
7 Main Street
Whitinsville, MA 01588

CHANGE ORDER NUMBER: 5
DATE: 6/3/2013
ARCHITECT'S PROJECT NO: 1616
CONTRACT DATE: December 27, 2012

CONTRACT FOR: Window Restoration &
Weatherization Project

TO CONTRACTOR:
(Name and Address)
Campbell Construction Group, LLC
21 Caller Street - Suite 4
Peabody, MA 01757

The Contract is changed as follows:

1. Provide (10) new double-hung wood window sashes at basement level of North Elevation +\$33,634.00

Not valid until signed by the Owner, Architect and Contractor

The original Contract Sum was \$469,500
Net change by previously authorized Change Orders is \$11,529
The Contract Sum prior to this Change Order was \$481,029
The Contract Sum will be increased by this Change Order in the amount of \$33,634
The new Contract Sum, including this Change Order, will be \$514,663
The Contract Time will be unchanged.

The date of Substantial Completion as of the date of this Change Order therefore is 6/14/2013.

NOTE: This summary does not reflect changes in the contract sum. Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive

McGinley Kalsow & Associates

Campbell Construction Group

Town of Northbridge, MA


Architect
324 Broadway, Somerville, MA 02145

Contractor
21 Caller St, Peabody, MA 01960

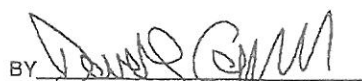
Owner
7 Main St., Whitinsville, MA 01588

Address


BY


DATE 6/3/2013

BY


DATE 6/05/2013

BY


DATE 6/3/13

**CERTIFICATE OF
SUBSTANTIAL
COMPLETION**

AIA DOCUMENT G704

Distribution to:

OWNER ☒
ARCHITECT ☒
CONTRACTOR ☒
FIELD ☐
OTHER ☐

PROJECT:

(Name and Address)

Northbridge Memorial Town Hall
7 Main Street
Whitinsville, MA 01588

PROJECT NO.: 1616.00

CONTRACT FOR: Window Restoration &
Weatherization Project
CONTRACTOR DATE: December 27, 2012

TO (Owner):

(Name and Address)

Town of Northbridge, Massachusetts
7 Main Street
Whitinsville, MA 01588

TO CONTRACTOR:

(Name and Address)

Campbell Construction Group, LLC
21 Caller St. - Suite 4
Whitinsville, MA 01588

DATE OF ISSUANCE: June 24, 2013

PROJECT OR DESIGNATED PORTION SHALL INCLUDE:

The Work performed under this Contract has been reviewed and found, to the Architect's best knowledge, information and belief, to be substantially complete. Substantial Completion is the stage in the progress of the Work when the Work or designated portion thereof is sufficiently complete in accordance with the Contract Documents so the Owner can occupy or utilize the Work for its intended use. The date of Substantial Completion of the Project or portion thereof designated above is hereby established as

June 28, 2013 (for MHC Bare Bid-funded portion of the Work)

which is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below.

A list of items to be completed or corrected is attached hereto. The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents.

McGinley Kalsow & Associates

ARCHITECT

BY

DATE

6/24/2013

The Contractor will complete or correct the Work on the list of items attached hereto within

days from the above Date of Substantial Completion.

Campbell Construction Group, LLC

CONTRACTOR

BY

DATE

The Owner accepts the Work or designated portion thereof as substantially complete and will assume full possession thereof at (time) on (date).

Town of Northbridge, Massachusetts

OWNER

BY

DATE

The responsibilities of the Owner and the Contractor for security, maintenance, heat, utilities, damage to the Work and insurance shall be as follows.

(Note—Owner's and Contractor's legal and insurance counsel should determine and review insurance requirements and coverage; Cont

MASSACHUSETTS HISTORICAL COMMISSION

MASSACHUSETTS PRESERVATION PROJECTS FUND

State Share: \$45,000.00 (total grant award)

Local Share: \$270,300.00 (remaining portion)

Total Project Cost: \$315,300.00 (total eligible costs)

COPY

REQUEST FOR MATCHING FUNDS

Date: July 23, 2012 Partial Payment: ☐ Final Payment: ☒ (check one)

1. Project Name: Northbridge Memorial Town Hall

2. Name of Recipient: Town of Northbridge

Address: 7 Main Street

Town/City: Whitinsville Zip Code: 01588

3. Local Share of Expenditures (total expended this period for eligible work): \$ 315,300.00

Copies of invoices attached w/copies of cancelled checks (both sides) or warrant for payment

4. Amount of this Request (state share): \$ 22,500.00

5. Total Grant Amount: \$ 45,000.00

Amount Previously Requested: \$ 22,500.00

Amount Now Requested: \$ 22,500.00

Balance: \$ 0.00

CERTIFICATION

I certify that to the best of my knowledge and belief this report is true in all aspects, is in agreement with accounting records, and that all disbursements have been made for the purposes and conditions of the contract.

Signature: R. J. [Signature]

Title: Local Project Coordinator
(Local Project Coordinator or Project Representative)

APPROVED FOR REIMBURSEMENT –
MHC USE ONLY

Date Processed: _____

MHC Architect/
Preservation Planner: _____

Grants Division: _____

MASSACHUSETTS HISTORICAL COMMISSION

MASSACHUSETTS PRESERVATION PROJECTS FUND

State Share: \$45,000.00 (total grant award)
Local Share: \$270,300.00 (remaining portion)
Total Project Cost: \$315,300.00 (total eligible costs)

REQUEST FOR MATCHING FUNDS

Date: May 13, 2013 Partial Payment: ☒ Final Payment: ☐ (check one)

1. Project Name: Northbridge Memorial Town Hall

2. Name of Recipient: Town of Northbridge

Address: 7 Main Street

Town/City: Whitinsville Zip Code: 01588

3. Local Share of Expenditures (total expended this period for eligible work): \$127,874.75

Copies of invoices attached w/copies of cancelled checks (both sides) or warrant for payment

4. Amount of this Request (state share): \$ 22,500.00

5. Total Grant Amount: \$ 45,000.00

Amount Previously Requested: \$ 0.00

Amount Now Requested: \$ 22,500.00

Balance: \$ 22,500.00

CERTIFICATION

I certify that to the best of my knowledge and belief this report is true in all aspects, is in agreement with accounting records, and that all disbursements have been made for the purposes and conditions of the contract.

Signature: 

Title: Local Project Coordinator
(Local Project Coordinator or Project Representative)

APPROVED FOR REIMBURSEMENT –
MHC USE ONLY

Date Processed: _____

MHC Architect/
Preservation Planner: _____

Grants Division: _____

NORTHBRIDGE MEMORIAL TOWN HALL -WINDOW RESTORATION PROJECT
Massachusetts Preservation Projects Fund -Round 18 (MPPF)

Town Hall Restoration Project

Window Restoration (Base Bid):	\$315,300.00	Campbell Construction Group, LLC
Add/Alternates/Change Orders:	\$514,663.00	
Architectural Services:	\$41,105.00	McKingley Kalsow & Associates
Masonry & Flashing / Painting & Carpentry:	\$122,386.83	Anicento, Inc / Fox Painting Co. Inc
Total Contracted Services:	\$678,364.95	
Total Municipal Funds:	\$635,000.00	Town Meeting Appropriation
Grant Award:	\$45,000.00	MPPF Round 18
Budget:	\$680,000.00	

Contract Amount:	\$514,663.00
(Base Bid:	\$315,300.00)
Billed to Date:	\$388,835.00

ADVERTIZING

Vendor / Consultant	Invoice No.	Date	Amount	Warrant No.	Org/Obj	Voucher No.	Check No.	MHC Reimbursement Status
---------------------	-------------	------	--------	-------------	---------	-------------	-----------	--------------------------

Worcester Telegram & Gazette AP0018125 11/30/2012 \$120.12 33-26 30131313/530200

PROJECT SIGN

Vendor / Consultant	Invoice No.	Date	Amount	Warrant No.	Org/Obj	Voucher No.	Check No.	MHC Reimbursement Status
---------------------	-------------	------	--------	-------------	---------	-------------	-----------	--------------------------

Graffiti Works 6029 1/2/2013 \$90.00 33-30 30131313/542000 160831 199990

WINDOW RESTORATION

Vendor / Consultant	Invoice No.	Date	Amount	Warrant No.	Org/Obj	Voucher No.	Check No.	MHC Reimbursement Status
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Campbell Construction Group, LLC

Pay App #1

period to 3/21

3/21/2013

33-44

30131313/530300

163858

202330

reimbursed

Campbell Construction Group, LLC

Pay App #2

period to 4/10

4/10/2013

33-44

30131313/530300

163859

202330

reimbursed

Campbell Construction Group, LLC

Pay App #3

period to 4/25

4/25/2013

33-46

30131313/530300

164389

202489

reimbursed

Campbell Construction Group, LLC

Pay App #4

period to 6/21

6/21/2013

33-53

30131313/530300

166004

203470

pending

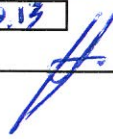
Campbell Construction Group, LLC

*Northbridge Memorial Town Hall Restoration Project includes: masonry & flashing; painting & carpentry; window restoration; storm windows; & architectural services

NORTHBRIDGE MEMORIAL TOWN HALL RESTORATION PROJECT (2012/2013)

Town Hall Restoration Project Funding Source

07.29.13



	AMOUNT
Town Appropriation	
2012 SATM (Art. #13)	\$635,000.00
Mass Historical Commission Grant	
MPPF Round 18 (Windows)	\$45,000.00
TOTAL FUNDS	\$680,000.00

Architectural Services	BALANCE	PAID
McGinley Kalsow & Associates, Inc.	\$41,105.00	\$8,735.00 \$1,849.45
		\$2,895.08 \$4,880.50
TOTAL	\$41,105.00	\$6,534.24 \$14,771.90 \$1,438.83

Analysis Services	BALANCE	PAID
FLI Environmental, Inc.	\$950.00	\$0.00 \$950.00
1 -(asbestos inspection)		
Sara B. Chase	\$895.00	\$0.00 \$895.00
2 -(historic paint analysis)		
TOTAL	\$1,845.00	\$0.00 \$1,845.00
1 -included in McGinley Kalsow & Associates, Inc services		
2 -included in Fox Painting Co. Inc. services		

Masonry & Flashing	BALANCE	PAID
Aniceto, Inc	\$63,450.00	\$55,372.50
Base Bid:	\$38,500.00	\$8,077.50
Change Order #1	\$5,150.00	\$63,450.00
Alt. #1 (add. Capstones)	\$5,900.00	
Alt #2 (fire escape removal)	\$13,900.00	
TOTAL	\$63,450.00	\$0.00

Painting & Carpentry	BALANCE	PAID
Fox Painting Co. Inc	\$58,936.83	\$35,250.00
Base Bid:	\$47,000.00	\$21,686.33
Change Order #1	\$11,053.67	\$2,000.00
Change Order #2	\$1,883.16	
Change Order #3 (rut repairs)	-\$1,000.00	
TOTAL	\$58,936.83	\$0.00

Window Restoration & Weatherization	BALANCE	PAID
Campbell Construction Group, LLC		\$69,967.50
*Base Bid:	\$315,300.00	\$11,400.00
* includes field painting (Homer Contracting) -amount of \$76,300.00		\$46,507.25
Alt. #1 (West Windows)	\$102,200.00	\$260,960.25
Alt. #2 (1st Floor Storms)	\$24,300.00	\$388,835.00
Alt. #3 (South Basement)	\$27,700.00	
Alt. #4 (Hopper Windows)	\$0.00	
Sub Total:	\$469,500.00	
Change Order #1	\$425,300.00	
Change Order #2	\$449,600.00	
Change Order #3	\$477,300.00	
Change Order #4	\$481,029.00	
Change Order #5	\$514,663.00	
		\$125,828.00

MHC -Signage	BALANCE	PAID
Graffiti Works		
(project sign)	\$90.00	\$0.00 \$90.00
Legal Ad		
Worcester Telegram & Gazette		
(Request for Proposals)	\$120.12	\$0.00 \$120.12

Total Contracted Work:	\$678,364.95
Town Appropriation:	\$635,000.00
MHC -Round 18 Grant:	\$45,000.00
Balance:	\$1,635.05

MISCELLANEOUS INFORMATION

(i.e. Historic Paint analysis, newspaper clippings, project sign, etc)

HISTORIC PAINT COLOR ANALYSIS

Northbridge Town Hall: Historic Exterior Paint Whitinsville, MA

Historic Exterior Paint Colors

[N.B. SW = Sherwin Williams]

SUMMARY

All sash: Sherwin Williams Chateau Brown 2028 gloss
(including original oculus)

All window trim: Sherwin Williams Quartersawn Oak 2836 semi-gloss or gloss

All door trim: Sherwin Williams Quartersawn Oak 2836 semi-gloss or gloss

All doors: Sherwin Williams Chateau Brown 2028 gloss

PORTICOS –

Columns: SW Quartersawn Oak 2836 semi-gloss

Capitols: SW Quartersawn Oak 2836 raised ornament and narrow ring
moldings only.

- Flat ground or band behind raised ornament to be the dark brown SW 2028 Chateau Brown•

Modillion blocks: SW Quartersawn Oak 2836 semi-gloss

- Flat ground for modillion blocks only: SW Chateau Brown 2028 semi-gloss•

Architrave & frieze: SW Quartersawn Oak 2836 semi-gloss

Ceiling moldings: SW Quartersawn Oak 2836 semi-gloss

Recessed ceiling panels: SW Quartersawn Oak 2836 matte
(only)

ROOF TRIM

Raking molding of gable end and eaves TBD

- Soffit and fascia holding modillion blocks: SW 2028 Chateau Brown semi-gloss•

Architrave, frieze, and dentils: SW 2836 Quartersawn Oak semi-gloss

Introduction

This building served as the Whitinsville Social Library when it was built, c. 1872. Like other mill towns of the period (Lowell, Saxonville), the mill owners provided halls and libraries for the personal benefit of the many workers and other mill personnel. The Library here had the same name as the village of workers, the name of the family who built the mills and founded the village of its workers: the Whitins.

Currently, however, it is the Town Hall of a wider community, Northbridge. The exterior shows typical Victorian design features, such as high window surrounds crowned by elliptical arches with a centered keystone (second story level, primarily a large meeting space), paneled doors with flat recessed panels, and smaller details such as the rosettes which band the columns and pilasters at the two main historic entrance porticos.

Architecturally, the Northbridge Town Hall is unusual. It certainly is a Victorian building. On the other hand, there is a strong neoclassical element in the two porticos and roofline with full classical entablature. Foundation blocks, steps, and belt bands of pink Milford granite further exemplify a classical design feature. That the two (classical and Victorian) design features can co-exist harmoniously in a handsome building is impressive.

The original exterior wood of the building was painted in a restrained Victorian manner.

Methodology

A single historic photograph (c1899) provided a general opening view of the exterior paint colors, at least in terms of lighter and darker areas, seen both in full light and in shadow. The microscope (two, actually—field scope of 20x and laboratory binocular scope of up to 100x) revealed that, at most, the building appears to have been painted overall at least 10-12 times. As is the case now, some areas get painted more often than others. The layers of paint examined individually and in cross sectional sequence for this report were only the first four finish layers. North daylight was the illumination; samples were treated with UV to reverse the normal discoloration due to aging linseed oil in the samples matched.

A very thin whitish primer was painted throughout with at least three, and sometimes more, brownish paint layers. Close attention to the samples, especially to determine which areas had one brownish layer over another with no traces of accumulated microscopic soot particles.

By the time the doors, windows and porticos were all painted the same color, i.e. there was a layer of uniform color and thickness found on all the areas sampled, it was finally clear that originally two brown paints co-existed: a dark tone, and a medium tone. That means that the lighter brown ("Quartersawn Oak") was painted over every painted surface, and then certain surface details were "picked out" with the deep brown color (Chateau Brown). Such a practice was typical of Victorian painters.

Conclusion

There is a logic to the use of the deeper darker color on specific areas and details: -

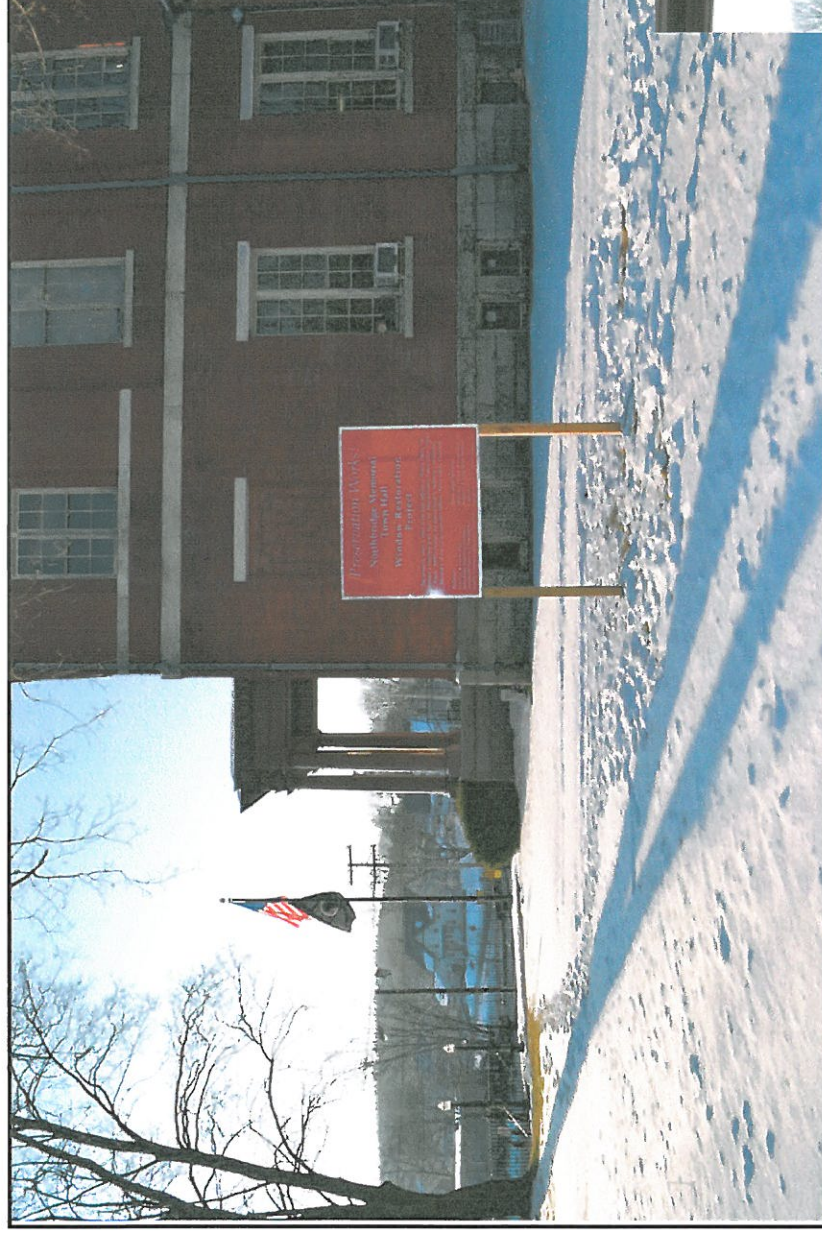
- On doors, the dark color both emphasizes the entrances as distinct from the brick and the rest of the trim, and shows far less soiling.
- On sash, the dark color tends to let the windows seem a little larger, especially when in daylight with only interior space behind the glass, the panes seem almost black.
- On the soffit and fascia of the roof trim, and on the portico roof overhang, the dark background lets the modillion blocks stand out.
- On the flat ground area to which the small rosettes (“flowers”) in high relief are attached, they stand out decoratively from the dark background.

Thus, both the tints or hues of the trim paint, and its locations, are typical of Victorian taste and aesthetics.

The particular brown colors on this building harmonize with the brick. The Sherwin Williams Quartersawn Oak color is from its original historic palette first published in the early 1970s, with color formulations taken directly from the Company archives. Sherwin Williams was one of the first two companies to manufacture paint that could have a shelf life in cans, and 1871 was early in the history of that company.

The Northbridge Town Hall has unusual significance in its blend of earlier neoclassical details with conventional mid-Victorian exterior trim colors.

PROJECT SIGN



Photos taken –JAN 2013
Northbridge Community Planning & Development

Preservation Works!

Northbridge Memorial Town Hall Window Restoration Project

This property, which is listed in the State Register of Historic Places, has received a matching grant from the Massachusetts Preservation Projects Fund (MPPF) through the Massachusetts Historical Commission, Secretary of the Commonwealth William Francis Galvin, Chairman.

Recipient:

Town of Northbridge
Northbridge Historical Commission
Community Planning & Development
Building, Planning & Construction Committee

Preservation Specialist:

McGinley Kalsow & Associates, Inc
Architects & Preservation Planners

Contractor:

Campbell Construction Group, LLC

PROJECT SIGN

TOWN WEBPAGE /STATUS REPORTS

Window Restoration Project (MPPF Grant-Round 18)



-Webpage created specific to tracking the [Northbridge Memorial Town Hall Restoration Project](#) —information includes electronic-versions of the building condition assessments; Mass Preservation Projects Fund Grant (with link to MHC); bids documents & specifications, as well as photo updates and status reports.

<http://www.northbridgemass.org/community-planning-development/pages/town-hall-restoration-project>

-April 24 2013

The following is a brief summary prepared by McGinley Kalsow & Associates, Inc concerning the Town Hall window mock-up. The consensus of everyone present was that the interior paint color of the window sash looks to be a good match, that the sash operate easily with the new sash lifts and weatherstripping, and the sash locks are properly aligned and lock without undo effort. The contractor was given the go-ahead to proceed with this aspect of the work.

Photos & captions by John Hecker, Architect /McGinley Kalsow & Associates, Inc.



The exterior view shows the sash painted the proper dark chocolate color. The window trim and brick moulding have not yet received their lighter, milk chocolate color

-April 24 2013

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Photos & captions by John Hecker, Architect /McGinley Kalsow & Associates, Inc.



The curved stop resting adjacent to the mock-up window is from the top of another semi-circular window. Note the close similarity of the color. We think this is a very good match. The curved stop has the original paint color, apparently without any coats of paint or varnish from later years

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The window stops at the jambs will also be painted in the same manner as the sash. The window sill, sill sash stop, chair rail and wainscot will receive a new varnish finish, not an opaque paint finish, as part of a future interior renovation project

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Painted window sash adjacent to reinstalled jamb stop (yet to be painted to match sash), with adjoining wood trim (existing clear varnish finish)

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Photos & captions by John Hecker, Architect /McGinley Kalsow & Associates, Inc.



Upper portion of mock-up window showing new sash chains and reinstalled upper, curved window stop at top of semi-circular fixed window. Former holes in curved stop will be filled and stop painted to match sash color

-April 24 2013

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Photos & captions by John Hecker, Architect /McGinley Kalsow & Associates, Inc.



Bottom of window sash showing new sash lifts and reinstalled original window glass

-April 24 2013

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Photos & captions by John Hecker, Architect /McGinley Kalsow & Associates, Inc.



The upper sash have been fixed in-place with small, wood restraining blocks. Note new sash locks at meeting rail, and sash chains and bronze weatherstripping at jambs. The jamb stops have been reinstalled with brass grommets and screws.

NORTHBRIDGE MEMORIAL TOWN HALL –RESTORATION PROJECT

Window mock-up

-April 24 2013

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Photos & captions by John Hecker, Architect /McGinley Kalsow & Associates, Inc.

Site visit –April 24 2013

Northbridge Memorial Town Hall (Window Mock-up)

Attendees include: John Hecker, Architect McGinley Kalsow & Associates, Inc.; R. Gary Bechtholdt II, Town Planner/Local Project Coordinator; James Shuris, DPW Director; Ronald White, Building Planning & Construction Committee; Paula McCowan, Northbridge Historic Commission; & Bruce Campbell, Campbell Construction Group –*photos taken by LPC*



NORTHBRIDGE MEMORIAL TOWN HALL –RESTORATION PROJECT

Window mock-up

-April 24 2013

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NORTHBRIDGE MEMORIAL TOWN HALL –RESTORATION PROJECT

Window mock-up

-April 24 2013

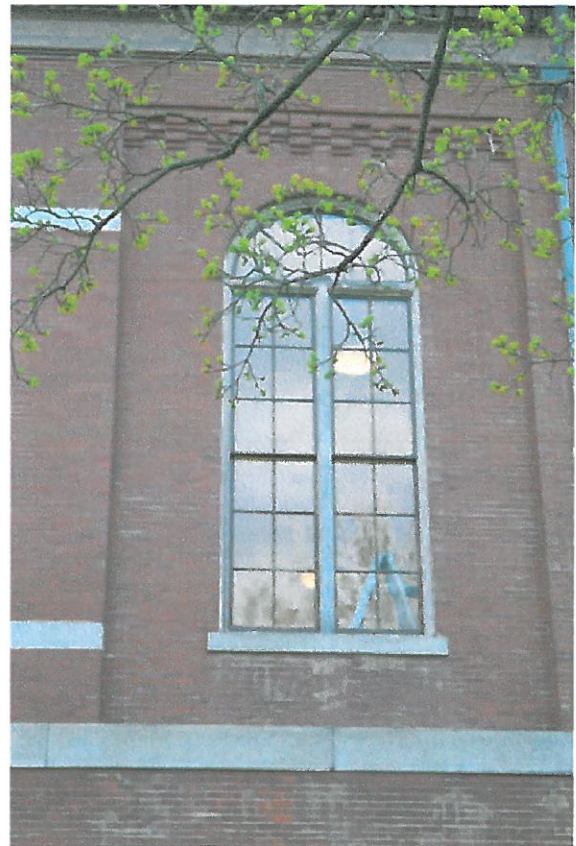
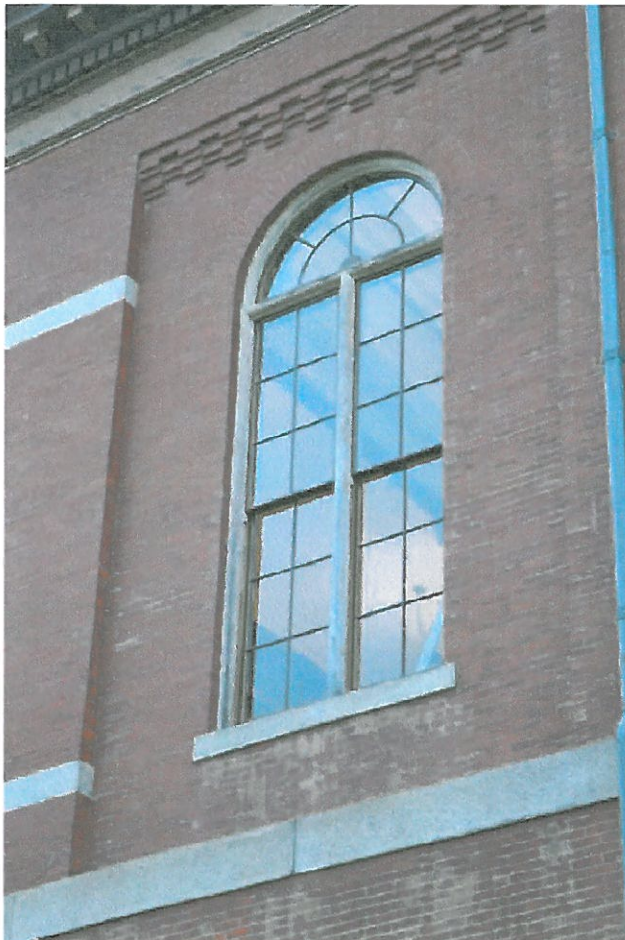
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Photos & captions by John Hecker, Architect /McGinley Kalsow & Associates, Inc.

Site visit –April 24 2013

Northbridge Memorial Town Hall (Window Mock-up)

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-March 26 2013

The following is a brief summary prepared by McGinley Kalsow & Associates, Inc of how the current Window Restoration project with Campbell Construction Group is proceeding:

1. All of the glass and asbestos-bearing window glazing has been removed from all window sash. This asbestos removal part of the contract is now complete. Approximately two-thirds of the original glass has been salvaged for reinstallation. During the removal process, all window sash were numbered for correct reinstallation.
2. Most of the window sash in the building have been transported to the restoration shop in West Bridgewater. The remaining windows on site will be removed when the completed mock-up windows are installed late this week or early next week.
3. The review of the installed mock-up windows is very important for the success of the project. The mock-up window sash will arrive at the site completely finished and will then be reinstalled in their respective window frames for a thorough review.
4. The mock-up windows will be fully repaired, painted, varnished, and outfitted with a complete set of operating hardware. The hardware will include new sash lifts, sash locks, sash pulleys, sash chains, and perimeter weather-stripping. We will be looking for appearance issues and smooth, functional performance. We also expect representatives of the Town will review the mock-up windows as well, and will give us their written approval in a timely manner.
5. Once the mock-ups are approved, a more detailed work schedule for the project will be provided by Campbell Construction. The work at the restoration shop will then accelerate. The sash will be stripped of all paint, loose joints repaired, damaged wood replaced, all wood surfaces sanded smooth, primed, re-glazed with salvaged glass and new glass, and then painted on the outside and painted/varnished on the inside.
6. Finished windows could begin to be installed in early May.
7. Administratively, Campbell Construction will be invoicing the Town during the last week of each month. The Applications for Payment will come to MK&A first. We will review the documentation, sign it, and then e-mail it to Jim Shuris and Ted Kozak, to make sure that it gets on the BPCC agenda for their review and recommendation for payment.
8. At last week's BPCC meeting, the Committee approved the addition of Alternates #2 and #3 to the Campbell Construction Group contract.

MK&A is also working with Ken Warchol (Northbridge Historic Commission) to develop a set of cast metal letters to be placed above both entry porticos.

NORTHBRIDGE MEMORIAL TOWN HALL –RESTORATION PROJECT

-March 29 2013

The current focus of the work is being undertaken at the shop of WW Millworks in West Bridgewater. The window sash is being stripped, sanded, repaired as required, and then primed & painted, in preparation for a finish coating of tinted varnish. The new round window for the attic has also been fabricated. *(Photos & captions by John Hecker, Architect /McGinley Kalsow & Associates, Inc)*



Appearance of sash after being stripped of paint & sanded



Original glass was salvaged and is being reinstalled to greatest extent possible



Stripped, sanded, primed & painted sash, ready for finish coat of tinted varnish



Kerfs are being cut into jamba's of sash to receive new metal weather-stripping

NORTHBRIDGE MEMORIAL TOWN HALL –RESTORATION PROJECT



Stacked pile of sash in the production line



Dark areas of wood on top sash indicate epoxy repairs have been made to that area



Epoxy repairs made to corner joints & mortise-and-tenon joints of window muntins

NORTHBRIDGE MEMORIAL TOWN HALL –RESTORATION PROJECT

-April 04 2013



Site visit -April 04 2013

WW Millworks, W. Bridgewater

Attendees include: Theodore Kozak, Northbridge Town Manager; R. Gary Bechtholdt II, Town Planner; John Hecker, Architect, McGinley Kalsow & Associates; & Paul Holtz, Co-Director Grants Division, Mass Historical Commission



NORTHBRIDGE MEMORIAL TOWN HALL –RESTORATION PROJECT

Site visit/Inspection of work

-June 28 2013

On Friday, June 28, 2013 a site visit was held at the Northbridge Memorial Town Hall to review/inspect the window restoration work -specific to the Mass Historic Commission Grant (work funded with a MHC matching grant totaling \$45,000.00). Provided below are comments & photographs from John Hecker, Architect /McGinley Kalsow & Associates, Inc.



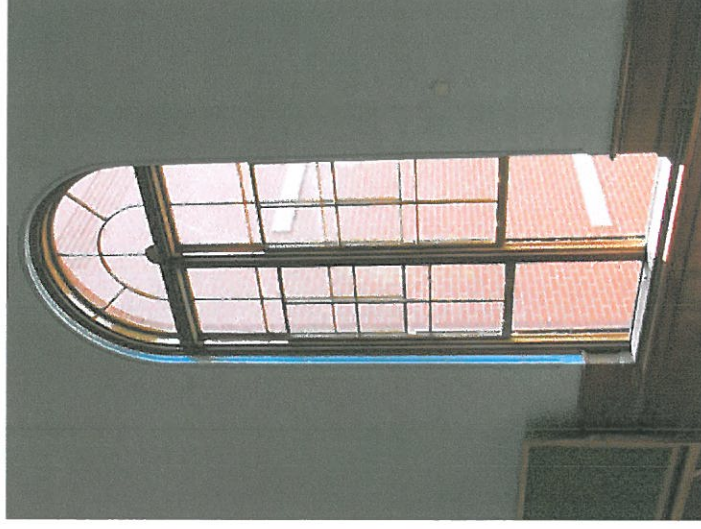
All of the restored window sash were in-place. All of the related hardware, such as sash lifts, sash locks, perimeter weatherstripping, and sash chains was also installed. Overall, the restored window sash have transformed the exterior and interior character of the building. The second floor meeting room has an overwhelming sense of transparency. Natural light floods the space. The dark brown paint on the sash de-emphasizes the sash and makes the glass area appear larger. This is true on both the interior and the exterior of the building.

NORTHBRIDGE MEMORIAL TOWN HALL –RESTORATION PROJECT

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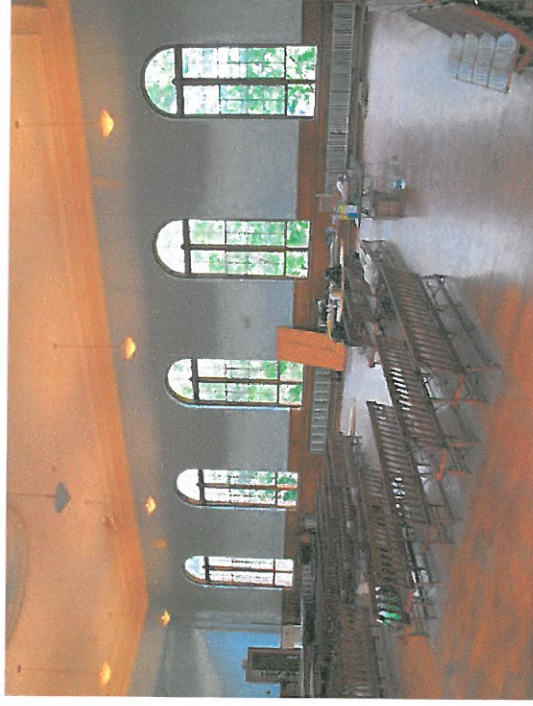
The overall reaction from people who use the building seems quite positive. Ted Kozak, the Town Manager, mentioned that he would like to avoid putting any of the old window A/C units back into the north side windows of the building. He senses that the public face of the building on Main Street has become rather special with its restored window sash back in-place. Toward that end, he has purchased new portable A/C units that sit on the floor and vent through flexible ducts to a 4" high horizontal slot at the bottom of the window opening. When A/C is not required, the vents can be easily removed, and the exterior appearance will be not be compromised by window A/C units.

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With regard to punchlist items, I found very little to complain about. Small scrapes and abrasions in the paint finish are visible in perhaps a third of the lower sash. These areas can be easily repaired at the sash that I have identified. One sash at the first floor could not be opened. The contractor removed a window stop, shaved a small bit of wood away, and the problem was solved.

The new round window in the attic looks quite good. The contractor put the new round window into the east side of the building, which has a more direct exposure to the weather. The surviving, original round window was moved to the west end, where it will be more protected from the elements.

I think that the quality of the work performed by Campbell Construction has been very good. The paint finishes look uniform and even. The sash open and close very easily. When the sash lock is engaged, the lower sash evenly compresses the new weatherstripping seal (under the bottom rail) against the window sill. Air leakage through the restored windows should be greatly reduced.

NORTHBRIDGE MEMORIAL TOWN HALL –RESTORATION PROJECT

Site visit/Inspection of work

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On the exterior, painting of the window frames is underway, weather permitting. The window sills on the south side of the building (parking lot side) have required a fair amount of epoxy consolidation and patching of the weathered sill surfaces. The north side (Main Street side) window sills were in much better shape, and required much less work. The new storm windows, as well as the new windows at the south side of the basement, should be arriving during the week of July 22nd.

NEWSPAPER ARTICLES

The Daily Northbridge

By **Main Street Connect**

Northbridge Selectmen OK Town Hall Grant Proposal

By Deborah E. Gauthier

March 27, 2012



NORTHBRIDGE, Mass. – High wind blew a pane of glass from a Memorial Town Hall window yesterday, punctuating the need for a decision made by the Board of Selectmen at a meeting last night.

The board unanimously agreed to support a Spring Town Meeting article to fund repairs to the windows and exterior of Memorial Town Hall and to apply for a Massachusetts Historic Preservation Grant to help pay the cost.

A survey of Town Hall was conducted last fall by McGinley Kalsow & Associates, Inc. of Somerville, funded with a matching \$15,000 grant from the Massachusetts Historical Commission. The Town Hall, built in 1872 by the Whitin family, is on the National Register of Historic Places.

A final report presented to the board in February shows building needs \$1 million in repairs, many of those repairs high-priority safety issues.

Town Planner R. Gary Bechtholdt II and Wendall Kalsow discussed the essential repairs with the board yesterday, and suggested the expenditure of about \$600,000, much of which will repair all the 120-year-old historic windows.

"Many are the original windows, well over 100 years old," Kalsow said. They were made with eastern white pine, he said, which has a high resin. "That helped them survive the New England environment for 120 years, often without paint."

Much of the hardware on the windows is original and of high quality as well, Kalsow noted. The putty that holds in the glass is missing on many of the windows, the sashes are broken, and there are large areas of peeling paint, he continued.

Kalsow has developed a detailed analysis of each window, showing which elements must be repaired and replaced.

Safety issues detailed in the survey will also be repaired and will include replacing two broken cast stone chimney capstones, replacing broken mortar at the southwest chimney, and repairing dislocated capstones at southern retaining wall adjacent to the parking lot.

NORTHBRIDGE

**DAILY
VOICE**

Northbridge Town Hall Restoration Begins Soon

by Deborah E. Gauthier 08/23/2012



The bids for masonry work and trim painting at Memorial Town Hall in Northbridge will be opened Friday. Bids for window repair will be sought next month. Photo credit: Deborah Gauthier

NORTHBRIDGE, Mass. – Bids will be opened Friday for two of the three portions of the \$635,000 Memorial Town Hall renovation project in Northbridge.

The Town Hall project includes masonry work, repairing and painting wood trim and window restoration, Northbridge Planner R. Gary Bechtholdt II said. Funding for the project was approved by voters at the Spring Annual Town Meeting.

The town received a \$15,000 matching grant in 2011 for an exterior building assessment, window survey and bid documents and specifications for window restoration work, Bechtholdt said. The grant came from the Massachusetts Preservation Projects Fund run by the Massachusetts Historical Society.

The Northbridge Memorial Town Hall, which is listed in the State Register of Historic Places, received a matching grant of \$45,000 for the window restoration, Bechtholdt said. The grant came from the Massachusetts Preservation Projects Fund through the Massachusetts Historical Commission.

McGinley Kalsow & Associates Inc. conducted the assessment.

"It is understood the window piece of the Town Hall restoration project will require specialized expertise and experience for such restoration work," Bechtholdt said.

Separating the non-window work gave local contractors the opportunity to submit bids. Bids for the masonry work and painting will be opened Friday, Town Manager Theodore Kozak said.

"Because the original windows are in good repairable condition, the preferred option is restoration rather than replacement," he said.

The invitation to bid for window work is expected to be ready in September or October and will be coordinated with the Massachusetts Historical Commission, Bechtholdt said.

The work can be done over the winter, Bechtholdt said. The windows will be removed and restored off site. The project is expected to be complete by June.

Questions about the project may be submitted to Department of Public Works Director James Shuris at 508-234-3581 or Bechtholdt at 508-234-2447.

Town hall renovation project to get started soon

BY ADAM SILVA
TRIBUNE STAFF WRITER

NORTHBRIDGE — The town is looking to make the Northbridge Town Hall return to its former glory.

"This past spring, town voters approved the allocation of \$635,000 for improvements made to Town Hall," said Northbridge Town Planner R. Gary Bechthold II. "There was a study done on the exterior of the building last year and windows, so we identified priority projects as that study. Now we have funding and we are looking for ways to complete this."

The project is scheduled for completion by September 2013. Northbridge received a matching grant of \$45,000, which is part of the \$780,000 of the Massachusetts Historical Commission's total funding for the year. They are part of 21 projects for the Commission this year. The Building, Planning and Construction Committee will oversee the restoration project. The McGinley Kaslow Association will provide oversight for the project and will assist in the bidding process and contract administration.

Bechthold will be the local project coordinator for the Massachusetts Historical Commission funding component.

The project consists of 11 different items. First, two broken cast stone chimney capstones will be replaced and so will the broken mortar on the southwest chimney.

The window restoration, which is arguably the biggest part of the project, will consist of replacing, repairing missing and broken glass and caulking.

Membrane patches on the portico roof will be replaced and rotten wood will be removed and primed and painted over. Slaters that are broken and missing will be replaced, as will sealant on the copper flashing into the chimney. Missing and damaged soffit vents will be replaced.

"The intent is to restore the windows, as they are in a condition where the preferred option is to restore rather than replace," he explained. "They are the original historic windows. There is a preservation restriction on the building, which made us eligible for the grant from Mass Historic."

The minor repairs will be the cutting and repointing of exterior brick at the western gable end, prep and painting of exterior wood trim and exterior doors on the east entrance and mechanical room will be repaired.

The Northbridge Memorial Town Hall, which is listed in the State Register of Historic Places, has received a matching grant of \$45,000 from the Massachusetts Preservation Projects Fund through the Massachusetts Historical Commission Secretary of the Commonwealth William Francis Galvin.

According to material from the Northbridge Planning Office, "A preservation restriction currently exists for the Northbridge Town Hall, beginning in 2000, when the town received funds from the Massachusetts Historical Commission for the slate roof, as such certain changes, alterations and repairs require and approval from the Massachusetts Historical Commission. In regards to the windows, because the original windows are in good repairable condition, the preferred option is restoration, rather than replacement."

Bids for the non-window work closed on Friday, Aug. 24, although the winner of the bid will not be announced for a few weeks, according to Bechthold.

Adam Silva may be reached at 508-909-4050 or by email at asilva@stonebridgepress.com.

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Sam Adams Lager and Octoberfest 1/24 pk bottles	\$25.99 + dep.
Smutty Nose 12 pks All varieties	\$13.99 + dep.
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Smirnoff Ice 12 pks All Varieties	\$11.99 + dep.
Twisted Tea 5 Liter Box	\$13.99 + dep.

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Van Gogh Vodka All flavors 750	\$23.99
3 Olives Vodka 1.75	\$19.99
Russian Standard Vodka 1.75	\$21.99
Malibu Rum 1.75	\$24.99
Lady Bligh Spiced Rum 1.75	After \$10 MIR \$5.99
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llemoine@stonebridgepress.com

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KATHY PERRELL
(508) 909-4103
kjohanson@stonebridgepress.com

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TARA KING
(508) 909-4111
classified@stonebridgepress.com

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CALL (508) 234-7506

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OR send to:
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OR send to:
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TRIBUNE ALMANAC

QUOTATION OF THE WEEK

"This is not an appropriate use of town equipment. Don Bourque should be ashamed of himself."

Douglas Selectman Jeffrey LaPorte, commenting on fire trucks used at an EMS Appreciation Night recently held by state representative candidate Don Bourque.

OPEN TO CLOSE

Northbridge Town Manager
(508) 234-2095
Northbridge Town Clerk
(508) 234-2001
Northbridge Middle School, Pleasant Street, Whitinsville (508) 234-4718
Northbridge Elementary School, 87 Linwood Ave., Whitinsville (508) 234-4264
Northbridge High School, Linwood Avenue, Whitinsville (508) 234-8221
Balmer School, Crescent Street, Whitinsville (508) 234-8181
Grammar & Primary Schools, Cross Street, Whitinsville (508) 234-8746
Special Education Department, 87 Linwood Ave. Whitinsville (508) 234-8701
Douglas Town Manager
(508) 476-4000 ext. 101
Douglas Town Clerk
(508) 476-4000
Douglas Elementary School, Gleason Court, Douglas (508) 476-2154
Douglas Intermediate School, 21 Davis St., Douglas (508) 476-3332
Early Childhood Center, 29 Depot St., Douglas (508) 476-4034
Special Education Department, 29 Depot St., Douglas (508) 476-4035
Uxbridge Town Manager
(508) 278-8600
Uxbridge Town Clerk
(508) 278-3156
Uxbridge High School, 62 Capron St., Uxbridge (508) 278-8633
Taft Elementary School, 16 Granite St., Uxbridge (508) 278-8643
Whitin Intermediate School, 199 Granite St., Uxbridge (508) 278-8640
Special Education (508) 278-8654
Veterans Agent (Northbridge, Douglas, Uxbridge and Sutton)
Ron Tetraau (508) 234-9808

REAL ESTATE

DOUGLAS
\$800,000, 77 Locust St., David and Susan Lheureux to Agnieszka and Grzegorz Podstawka
\$150,000, 14 Davis St., Ruth E. Vecchiare Trust and Copportunity Realty Trust to JMT East Brookfield LLC
\$61,501, 113 Northview Main St., Janice G. Marsh and David R. Cullinan Estate to Gregory Beauchamp
\$182,000, 38 West St., James M. Andrew C. and Jennifer Ann Baca to Robert Louis Martin III

UXBRIDGE

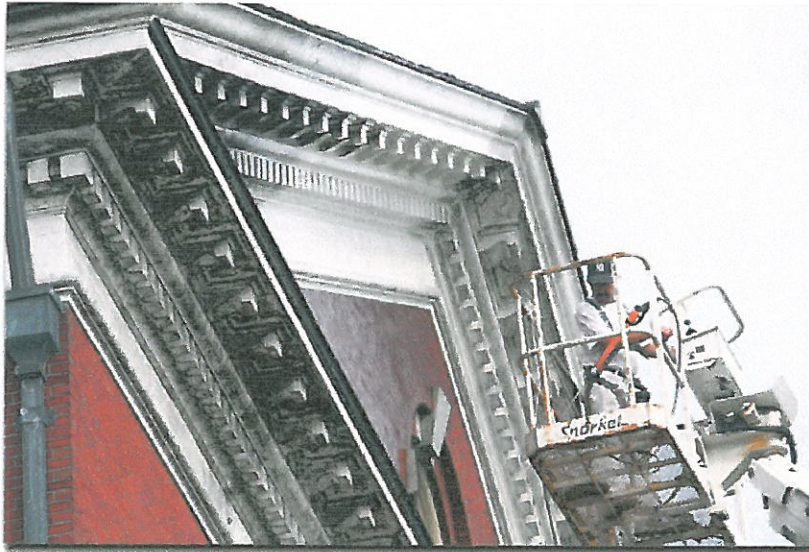
\$210,000, 12 Highness Drive, Cynthia M. Hebert and Steven M. Lord to William J. and Cathy L. Oliver
\$93,900, 383 Mendon St., Federal National Mortgage Association, Fannie Mae and Harmon Law Offices PC to Joseph and Beth Hickey
\$5,000, Brookside Drive, Louis D. Desruisseaux Trust, Karen M. Sherlock Trust, Karen M. Emrick, Louis Desruisseaux, Karen M. Sherlock, Brookside Realty Trust to Vincelle LLC
\$110,000, 66 Rivulet St., Madeleine R. Sears to Genial Investments LLC
\$191,000, 21 Elm St., Joseph B. McWilliams to Melissa A. Sabella
\$379,000, 300 Crownshield Ave., Michael and Patricia O. Dutts to Dean A. and Jennifer B. Santosovo
\$370,000, 60 Kasey Court, TTK Real Estate LLC to Kenneth J. and Kathleen A. Tavares

NORTHBRIDGE

\$345,000, 1055 Marston Road, Cathy and William J. Oliver Jr. to David and Susan Lheureux
\$124,900, 7-81 Ash St., Federal National Mortgage Association, Fannie Mae and Harmon Law Offices PC to Mota Realty LLC
\$175,000, 316 Goldthwaite Road, Richard S. Baker to Miguel A. and Christine J. Guanipa
\$155,000, 10 Woodland St., Deborah A. Montgomery to Christopher Caron
\$220,000, 244-248 Sutton St., Edward C., David H., Lawrence N. and Daniel P. Flanagan to Christopher F. Paradis
\$104,900, 95 Heritage Drive Unit 35 Building 1, Alex Martin Jr. to Neil D. Polucha
\$140,000, Unit 27, 27 Forest St., Miguel A. and Christine J. Guanipa to Jeremy Roy Beaupre
\$132,000, 394 Union St., Lucie E. and Lucie Vallee to Raula V. Miroshnichenko
\$229,000, 335 Linwood Ave., Stephen B. and Susan R. Hebert to Christopher P. Beavoli and Lindsey Heards

Northbridge Town Hall Restoration Project Begins

by Deborah E. Gauthier 10/10/2012



A worker from Fox Painting power washes the eaves of Northbridge Town Hall prior to a upcoming paint job. Photo credit: *Deborah Gauthier*

NORTHBRIDGE, Mass. – The eaves of Memorial Town Hall in Northbridge sparkle after a power wash by Fox Painting over the long weekend.

Fox Painting of Arlington's low bid of \$47,000 won the painting portion of the Memorial Town Hall renovation project. The project also includes masonry repair awarded to Aniceto, Inc. of Milford, with a bid of \$58,300, and window restoration which has not yet gone out to bid.

Memorial Town Hall is listed on the State Register of Historic Buildings.

Voters last May approved \$635,000 for the project, the bulk of that for window restoration. The Massachusetts Preservation Projects Fund through the Massachusetts Historical Commission provided a grant of \$45,000.

Mark Pepas, his brother Henry and nephew Henry Jr. manned hydraulic lifts set up on two sides of Town Hall on Saturday morning. In addition to power washing the trim, they took out rotted sections, which will be replaced with South American mahogany, Pepas said.

Because it's an historic building, and being renovated with the help of Massachusetts Preservation, everything must be very specific to the original condition of the building, Pepas noted.

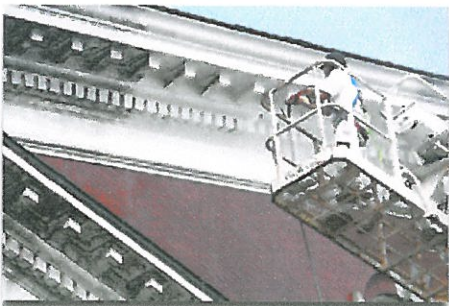
"They're still researching what the color of the trim will be," he said. A piece of trim is currently in the hands of Massachusetts Preservation where they are peeling every coat of paint ever used until the original color of the building is revealed.

Pepas said his part of the project will take about three weeks to complete.

PHOTO ALBUM

[Northbridge Town Hall Power Washed](#)

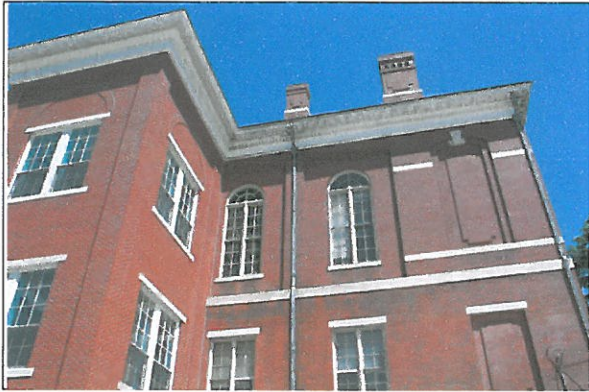
Photo credit: *Deborah Gauthier*



Northbridge Awards Contract For Work On Town Hall Windows

By [Deborah E. Gauthier](#)

News 12/07/12



Campbell Construction was awarded a contract to restore windows in Memorial Town Hall in Northbridge.
Photo credit: *Deborah Gauthier*

NORTHBRIDGE, Mass. – Campbell Construction, with a bid of \$425,300, was awarded the contract to do the window restoration work as part of the renovation project at Memorial Town Hall in Northbridge. The Northbridge Building, Planning and Construction Committee made the decision Thursday night.

Voters approved \$635,000 for the project at the spring town meeting last May.

Memorial Town Hall, listed on the State Register of Historic Places, received a matching grant of \$45,000 for window restoration. The grant comes from the Massachusetts Preservation Projects Fund through the Massachusetts Historical Commission.

An assessment of the building's exterior needs and a survey of the windows was conducted in 2011 by McGinley Kaslow & Associates Inc. for \$29,000. Of that, \$15,000 was a matching grant from the Massachusetts Preservation Projects Fund.

The windows will be removed and repaired offsite over the winter, Town Planner R. Gary Bechtholdt II said.

Campbell Construction was the lowest bidder on the project. Other bids were submitted by Kroneberger & Sons for \$436,000 and Vereika Construction for \$466,400.

The painting and masonry portions of the project are nearly complete, Town Manager Theodore Kozak said. Those bids were awarded to Aniceto Inc. for masonry and flashing work for \$63,340 and to Fox Painting for painting and carpentry for \$59,937.

The plan is to use the remaining \$46,708 for first-floor storm windows, Kozak said.

Highway Superintendent Robert Van Meter suggested a meeting with town employees to emphasize the project's safeguards.

"It's a really clean process," said William Moore, project supervisor for Campbell Construction.

Each batch of windows will take eight to 10 weeks to complete. With the ongoing work, parking will be limited at Town Hall.

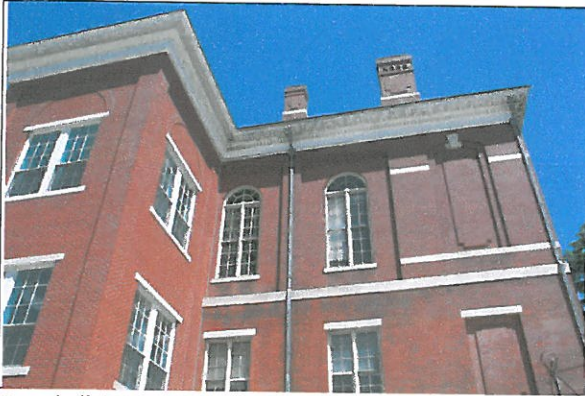
Much of the painting and masonry work is already done. Aniceto Inc. did masonry and flashing work for \$63,340, and Fox Painting did the painting and carpentry work for \$59,937.

A portion of the funding comes from a matching grant of \$45,000 for the windows from the Massachusetts Preservation Projects Fund through the Massachusetts Historical Commission.

Northbridge Awards Contract For Work On Town Hall Windows

By Deborah E. Gauthier

News 12/07/12



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The plan is to use the remaining \$46,708 for first-floor storm windows, Kozak said.

Restoration of Northbridge Town Hall Windows Begins

By [Deborah E. Gauthier](#)

News 02/26/2013



Windows of Memorial Town Hall in Northbridge are boarded up while the windows are restored offsite. Photo Credit: *Deborah Gauthier*

NORTHBRIDGE, Mass. – Many of the windows of Memorial Town Hall on Main Street are boarded up, but no one should be concerned.

The second floor windows of the historic building are boarded because the windows have been removed and are being refurbished thanks to \$635,000 Town Hall renovation project approved by voters at Town Meeting last year.

Campbell Construction, with a bid of \$425,300, was awarded the contract to do the window restoration as part of the renovation. The windows are being removed and repaired offsite.

At a meeting of the Board of Selectmen on Monday, Town Manager Theodore Kozak said he expects the windows will be returned in about four weeks.

Second floor windows were removed last week; the company started on the first floor this week. The painting and masonry portion of the renovation project was completed several weeks ago.

Memorial Town Hall, listed on the State Register of Historic Places, received a matching grant of \$45,000 for window restoration. The grant comes from the Massachusetts Preservation Projects Fund through the Massachusetts Historical Commission.



A Campbell Construction worker at Memorial Town Hall measures a window before boarding it up and removing it for restoration. Photo Credit: *Deborah Gauthier*

WINDOW RESTORATION –SCOPE OF WORK

SECTION 08610 – WINDOW RESTORATION

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

The general provisions of the Contract, including General and Supplementary Conditions, and relevant sections of these Specifications, apply to the work specified in this Section.

1.2 SCOPE OF WORK

A. Restoration of windows where identified:

1. Paint removal shall be performed under SECTION 02091 – PAINT REMOVAL.
2. Inspect and repair wood with Abatron liquid consolidant and filler.
3. Provide and install replacement wood parts where missing or deteriorated beyond the point where they can receive epoxy repairs, where indicated on the window schedule.
4. Re-glaze windows with putty.
5. Prep and prime all wood. Finish painting shall be done under SECTION 09900 by the Painting Subcontractor.
6. Provide structural reinforcement of sash.
7. Provide weatherstripping where indicated.
8. Refurbish existing hardware where indicated.
9. Provide and install new hardware where indicated.
10. Provide and install new sash weights where indicated.

1.3 RELATED WORK

SECTION 02090 – LEAD-CONTAINING PAINT CONSIDERATIONS

SECTION 02091 – PAINT REMOVAL

SECTION 09900 - PAINTING

1.4 SUBMITTALS

Submit for approval product data and samples of each product.

1.5 QUALITY ASSURANCE

Employ only workers with at least five (5) years documentable experience with use of materials and methods outline herein. Window restoration specialist must have successfully completed a minimum of three (3) similar restoration projects. The

5. Weatherstrip: Equal to Spring Bronze by Wm. A. Kilian Hardware Co.

PART 3 - EXECUTION

3.1 GENERAL

- A. Security and Weathertightness: The window restorer shall maintain a weathertight and secure building at all times.
- B. Surface preparation: All wood shall be thoroughly sanded with number 100 sandpaper.
- C. Window Restoration: Inspect and repair all existing deteriorated wood parts. Use wood dutchmen to repair defects greater than 1 cubic inch, use consolidant and filler to repair smaller defects. Remove all putty and prime with linseed oil and re-putty. Lightly sand all woodwork to assure good paint adhesion and smooth finish. Prime all woodwork.
- D. General Wood Repair Standards:
 1. The following standards will serve as general guidelines for the conservation and repair process.
 - a. Replace all finish elements in kind, matching profiles and actual dimensions of the stock and the methods of installation. Under no **circumstances shall nominal sized lumber be substituted for any existing** more fully sized lumber. All exposed woodwork shall be Honduran mahogany.
 - b. Prime and backprime all architectural and trim elements.
 - c. Take measures to prevent chronic maintenance problems, such as allowing for good ventilation and air circulation, positive drainage of water, etc.

3.2 MATERIALS PREPARATION

- A. Mix and prepare painting materials in accordance with manufacturer's directions. Apply only in atmospheric conditions as directed by the manufacturer's instruction.
- B. Store materials not in actual use in tightly covered containers. Maintain containers used in storage, mixing, and application of paint in a clean condition, free of foreign materials and residue. Do not store paint materials inside the building.
- C. Stir materials before application to produce a mixture of uniform density, and stir as required during the application of the materials.

3.3 EPOXY WOOD CONSOLIDATION AND PATCHING

- A. General: All epoxy materials to be as manufactured by Abatron, Inc. 33 Center Drive, Gilberts, IL 60136 Tel. (708) 426-2200.
 - 1. Wood Consolidant: Liquid Wood as manufactured by Abatron, Inc.
 - 2. Structural Adhesive Putty: Wood Epoxy as manufactured by Abatron, Inc.
- B. Proportioning of Mix: Follow the directions of the manufacturer explicitly with regard to proportioning and mixing of epoxy components.
- C. Addition of Fillers: Follow the directions of the manufacturer explicitly with regard to the addition of either microfibers or microballoons to the epoxy mix. Addition of fillers may be necessary if the epoxy mix is to be used as patching and filling compound.
- D. Use of Epoxy Consolidants: Drill 1/8" diameter holes diagonally into deteriorated or punky wood approximately 1" on centers both ways in staggered row, and to sufficient depth to penetrate sound wood. Apply consolidant by injecting it into each hole with a plastic squeeze bottle until absorption ceases.

In vertical or diagonal members, begin at top and work downward; in horizontal members begin at one end and work across member. On window sills, it may be possible to brush apply epoxy consolidant onto sill until absorption stops.

- E. Use of Epoxy Patching Compound: Remove all debris from areas to receive patching compound. Remove all paint from wood surfaces. Use patching compound only to fill holes and cracks less than 1/2" wide. Apply patching compound with putty knife, forcing it firmly into holes and cracks. Do not strike off compound flush to surface, leave slightly protruding. Plane, shape and sand all consolidated wood elements to conform to original profiles and shapes as closely as possible.

END OF SECTION 08610

Task III - Window Restoration/ Weatherization Project

Northbridge Memorial Town Hall Northbridge, Massachusetts



Historic Photograph of Northbridge Memorial Town Hall, ca. 1899



McGinley Kalsow
& Associates, Inc.
ARCHITECTS & PRESERVATION PLANNERS

324 Broadway ~ PO Box 45248
Somerville, MA 02145-2803

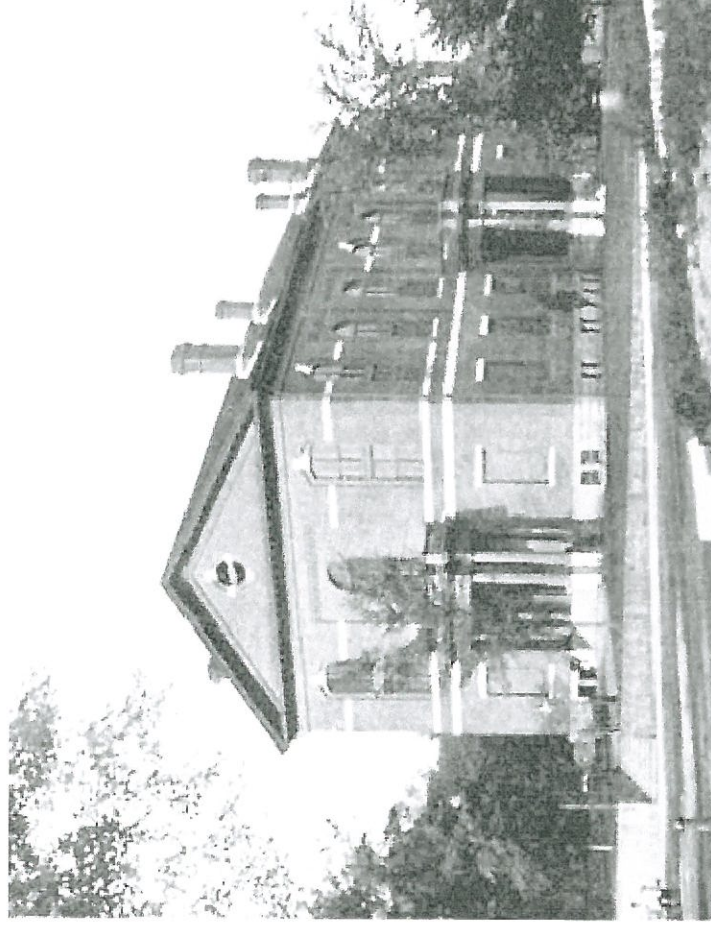
April 30, 2012

Northbridge Memorial Town Hall

Window Restoration/ Weatherization Project

April 30, 2012

7 Main Street, Whitinsville, Massachusetts 01588



OWNER

Town of Northbridge
7 Main Street
Whitinsville, MA
Phone: 508-234-2447
Fax: 508-234-0814

DRAWING LIST

Cover Sheet & Drawing List
A0.1 - General Notes & Key Plan
A2.1 - East Elevation
A2.2 - North Elevation
A2.3 - West Elevation
A2.4 - South Elevation
A8.1 - Window Repair Schedule
A8.2 - Window Repair Schedule
A8.3 - Window Type Elevations
A8.4 - Window Type Elevations
A8.5 - Window Type Elevations
A8.6 - Window Type Elevations
A8.7 - Window Details
A8.8 - Window Details
A8.9 - Storm Window Details

ARCHITECT

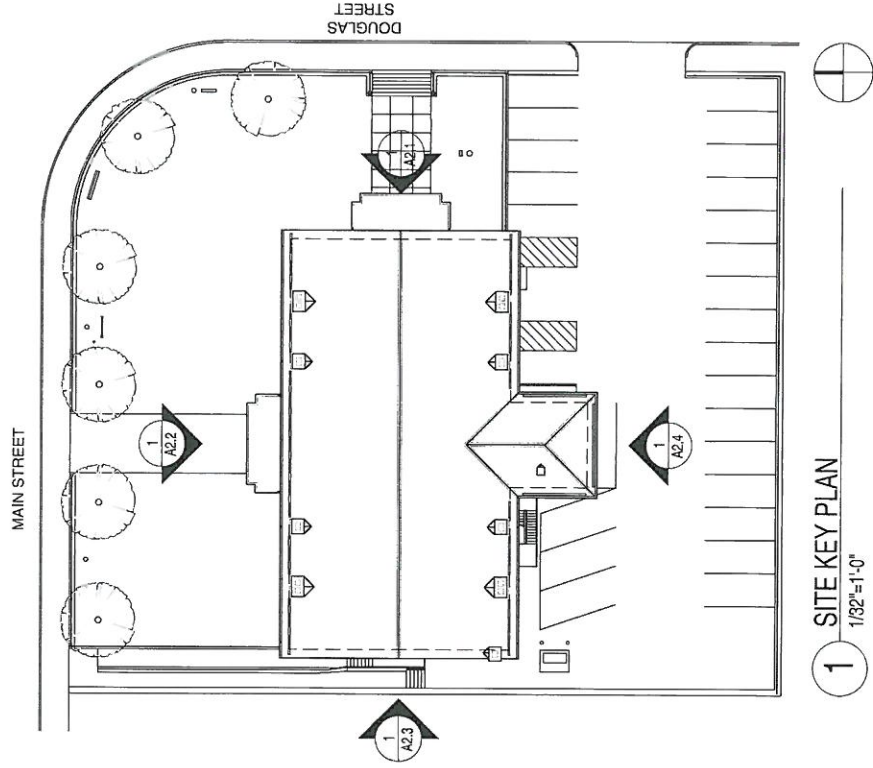
MK & A
McGinley Kalsow
& Associates, Inc.
ARCHITECTS & WEATHERIZATION PLANNERS

324 Broadway
Somerville, MA 02145
Phone: 617-625-8901
Fax: 617-625-8902
www.mcginleykalsow.com

Task III Submission: April 30, 2012

GENERAL NOTES:

1. Protect the public at all times from potential construction hazards.
2. Secure and control access to work area.
3. The Contractor shall be responsible for maintaining a weathertight and secure building at all times.
4. The Contractor shall visit the site and thoroughly examine and become familiar with existing conditions including delivery and removal of materials to and from the site.
5. The Contractor shall protect adjoining property, public rights-of-way, and the public from dust and construction hazards during the project. The Contractor shall provide, install and maintain protection barriers to ensure public safety. Review requirements of work within the public way (street and sidewalk) with the Town of Northbridge and provide required police details for work within the public way.
6. The Contractor shall secure all permits and inspections necessary for the proper execution of the work.
7. Work described in either drawings or specification shall be considered part of this contract.
8. Field dimensions and dimensional coordination shall be the responsibility of the Contractor. Review field conditions that differ from Contract Documents with Architect prior to proceeding with work.
9. Sections and details apply to all similar conditions unless otherwise noted.
10. Materials referred to on drawings and details are new unless noted as existing. Where work is described as "new" or "replacement" the contractor shall remove and legally dispose of existing material. Submit manifest to document legal disposal.
11. Restore any damage to building or site caused during construction to its condition prior to the start of construction. Contractor shall photographically document existing conditions and note areas of existing damage.
12. Control noise. Contain all dust and legally dispose of all construction debris and material removed that is not salvaged for reference or reuse. Conform to all City construction requirements.
13. While the Drawings are generally produced at conventional scales, written dimensions supersede scale. Dimensions given are approximate, and do not relieve the Contractor from measuring actual conditions in the field prior to production or ordering of materials.
14. Contractor shall carefully review site conditions and submit plan with staging, security and site access shown for review by Owner before construction begins.
15. Because of the age of the structure, the contractor shall assume that all painted surfaces include lead paint.
16. At the completion of all work, the Contractor shall remove all construction debris and material and repair damage caused to the site during construction. All paved areas shall be cleaned to return to pre-construction condition.
17. "Requests for Information" RFI's are a normal and expected part of the construction process. In submitting an RFI, the Contractor shall also submit a recommended detail or solution. The Contractor shall also indicate if the Contractor feels that the recommended detail or solution is a proposed increase to the contract sum.



1 SITE KEY PLAN
1/32"=1'-0"



Northbridge Memorial
Town Hall
7 Main Street
Whitinsville, MA 01588
Task III
Window Restoration/ Weatherization

Date: 4/30/2012
Drawn By: WJP
Reviewed By: WCK
Project No: 1616.00

MK & A
McGinley Kallow
& Associates, Inc.
324 Broadway, P.O. Box 45248
Boston, MA 02114-0248
617-622-8881 • www.mgkallow.com

**GENERAL
NOTES &
KEYPLAN**

A0.1



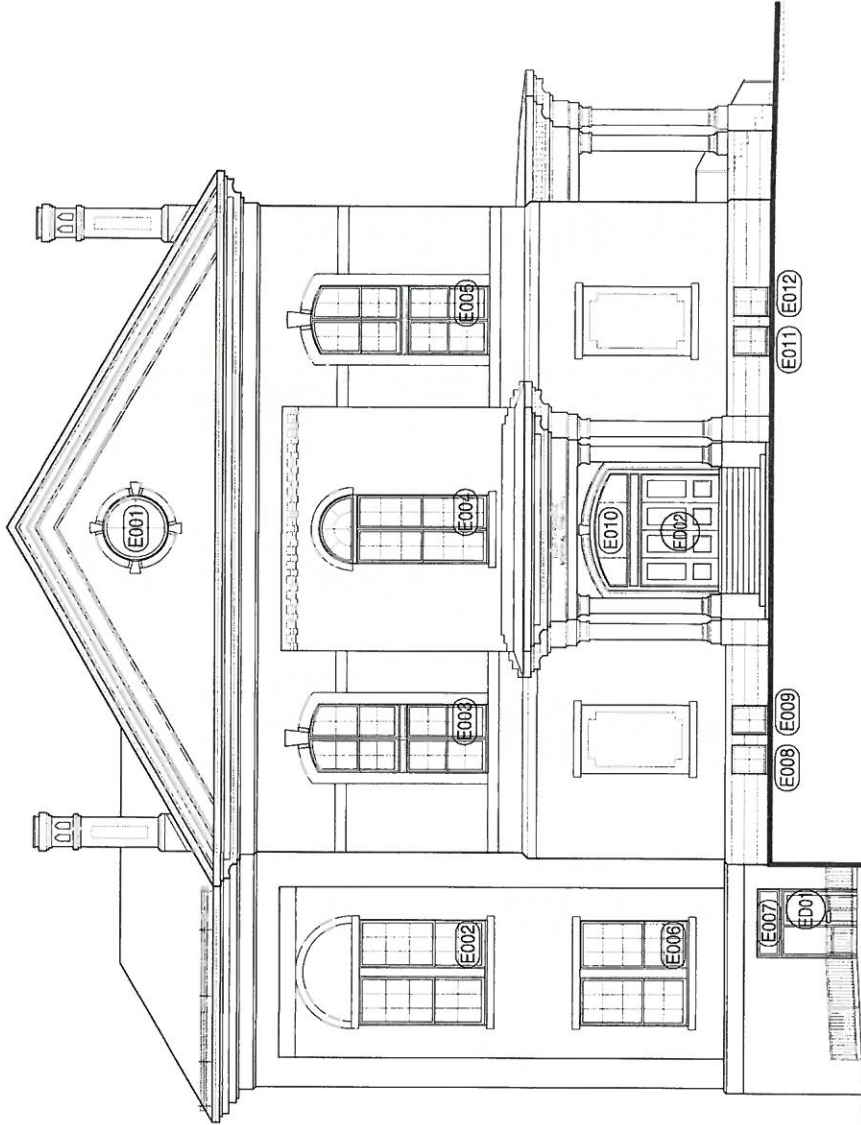
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Somerville, MA 02145
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WINDOW
RESTORATION
EAST
ELEVATION

A2.1



1 EAST ELEVATION
3/32" = 1'-0"



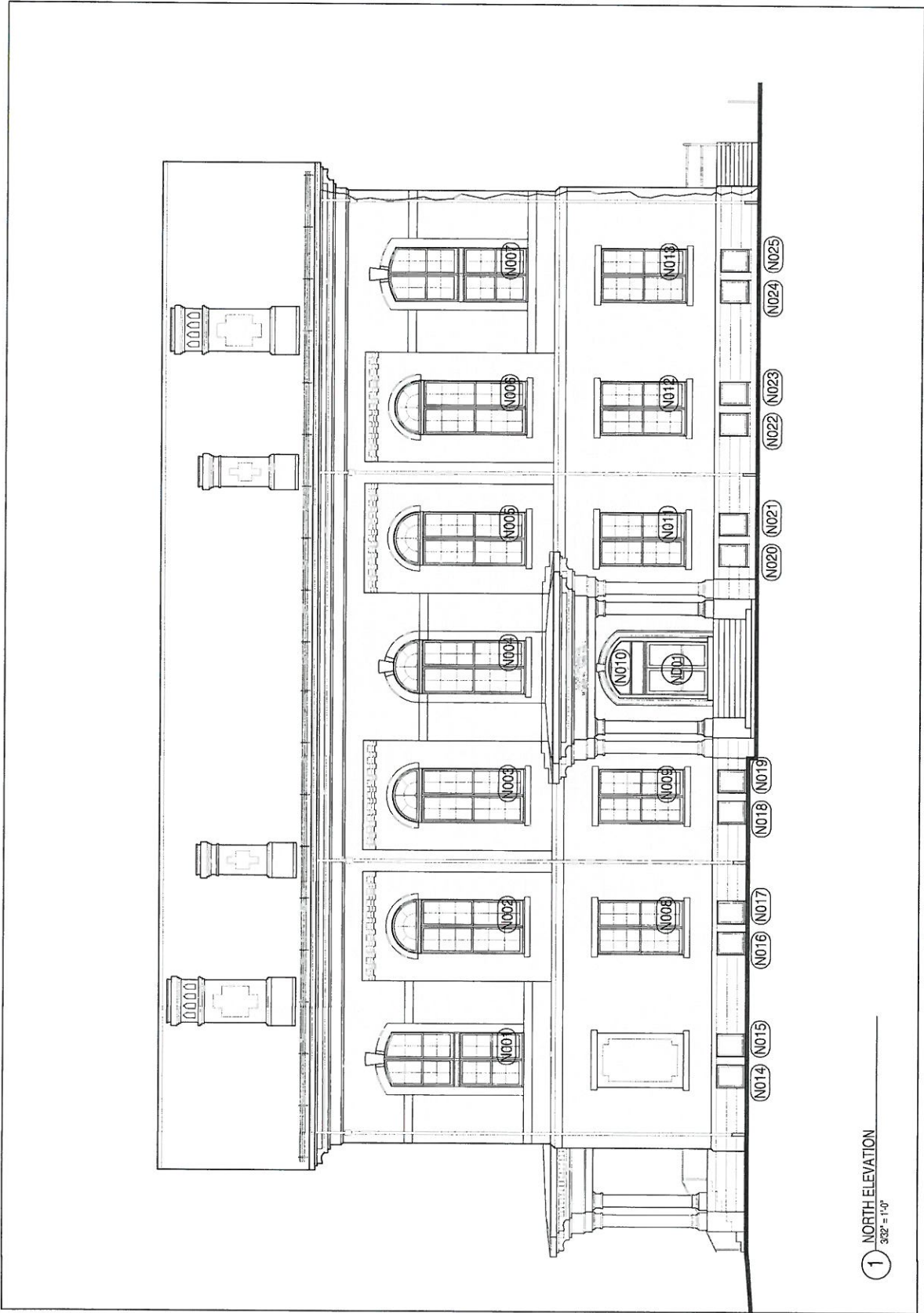
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WINDOW
RESTORATION
NORTH
ELEVATION

A2.2





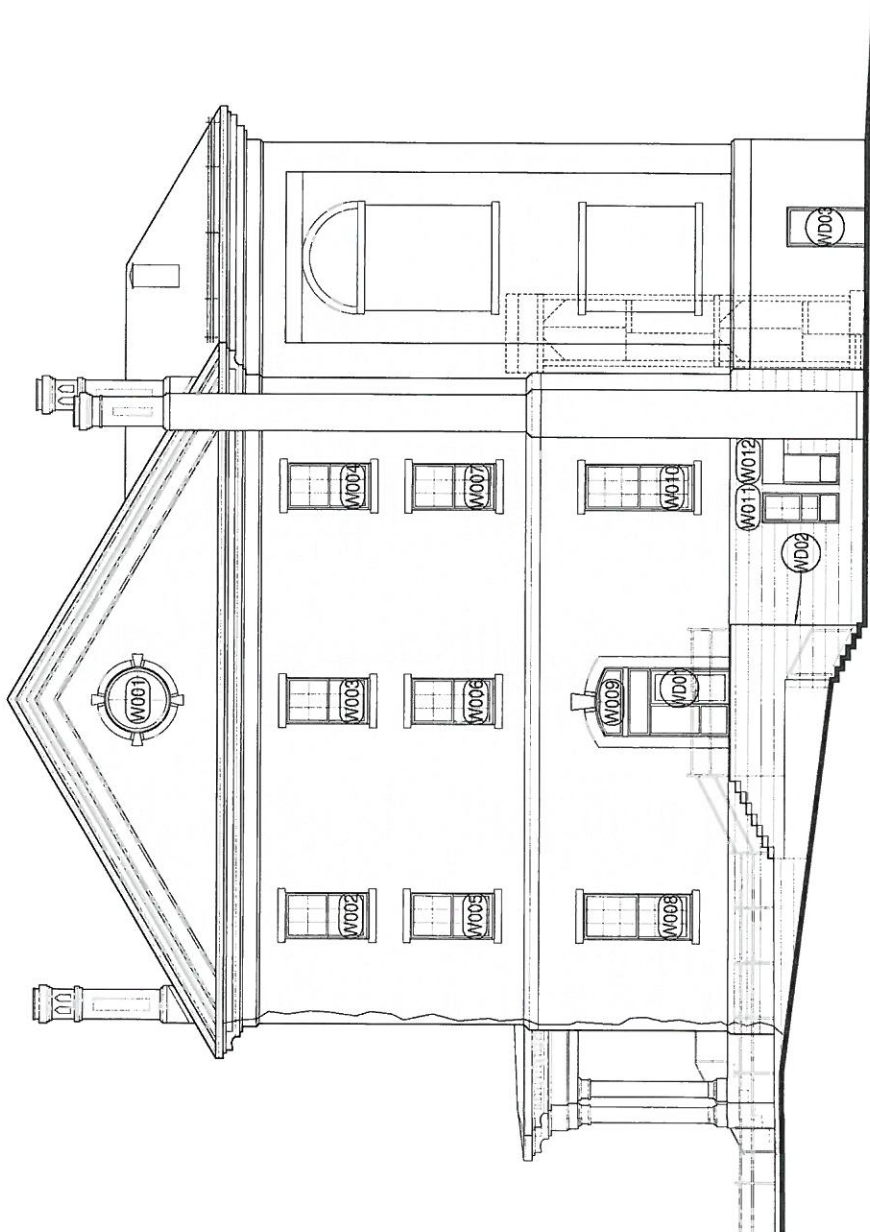
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Somerville, MA 02145
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WINDOW
RESTORATION
WEST
ELEVATION

A2.3



1 WEST ELEVATION
2012" = 1'-0"



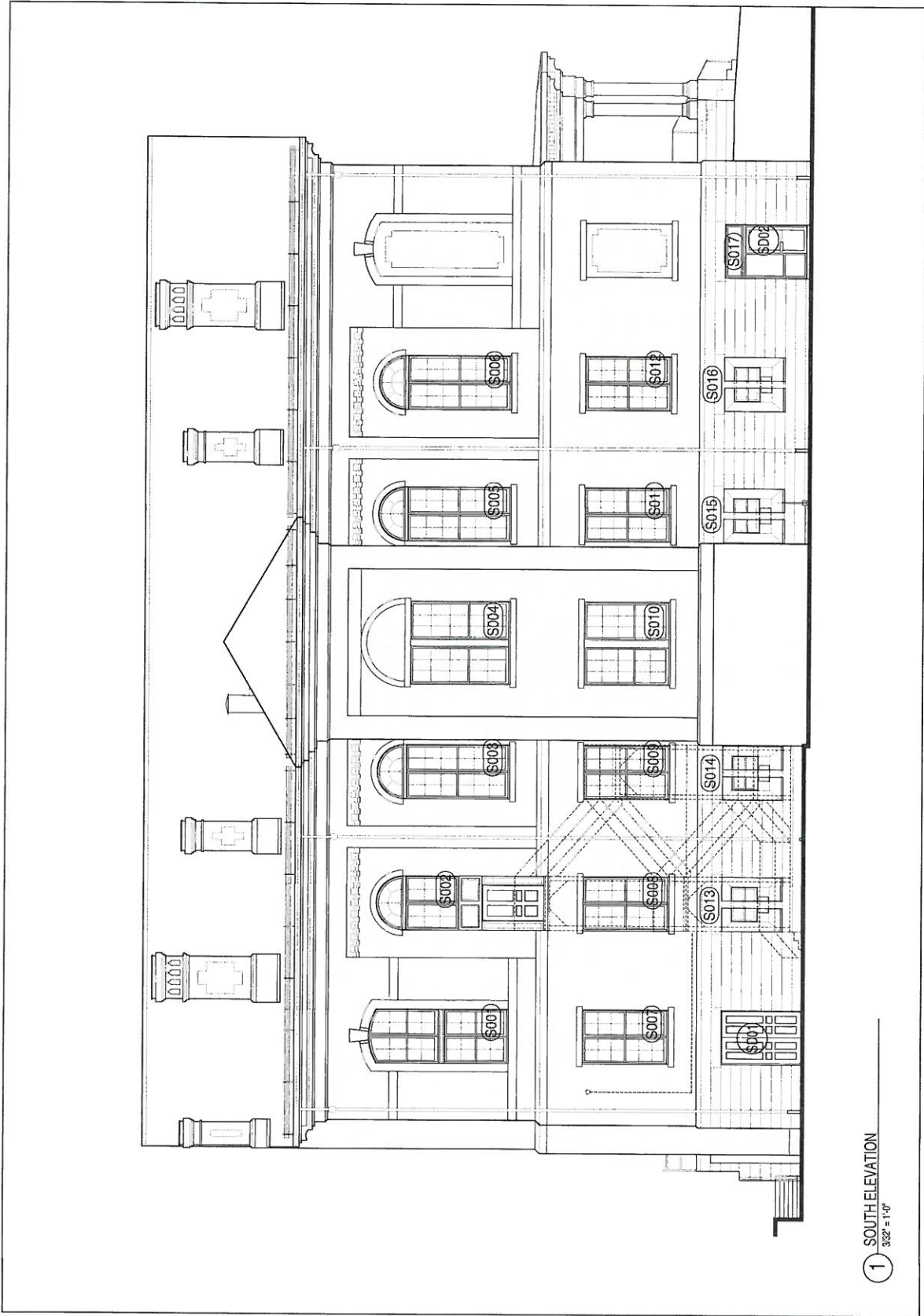
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WINDOW
RESTORATION
SOUTH
ELEVATION

A2.4



1 SOUTH ELEVATION
32' = 1"



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Window Restoration/ Weatherization
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3254 Broadway, P.O. Box 49248
Somerville, MA 02145
617-253-8001 - www.mckinleykalsow.com

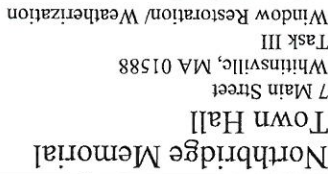
WINDOW
REPAIR
SCHEDULE

A8.1

REPAIR WORK DESCRIPTION																														REMARKS									
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REPAIR EXISTING SASH WITH HISTORIC REPUCA SASH																														REPAIR EXISTING SASH WITH HISTORIC REPUCA SASH									
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PAINT INTERIOR SASH, SASH JAMB, STOPS, & PARTING																														PAINT INTERIOR SASH, SASH JAMB, STOPS, & PARTING									
REPAIR STAIN INTERIOR SILL																														REPAIR STAIN INTERIOR SILL									
REPAIR SASH LOCK (QY)																														REPAIR SASH LOCK (QY)									
REMOVE & RE-CAULK ENTIRE FRAME BETWEEN																														REMOVE & RE-CAULK ENTIRE FRAME BETWEEN									
NEW SASH CHORDS ATTACH CHORDS TO SASH																														NEW SASH CHORDS ATTACH CHORDS TO SASH									
NEW SASH LIFTS (1 PAIR PER BOTTOM RAIL)																														NEW SASH LIFTS (1 PAIR PER BOTTOM RAIL)									
REMOVE REG. GLAZ & PUTTY ALL GLAZ LIFTS OF SASH																														REMOVE REG. GLAZ & PUTTY ALL GLAZ LIFTS OF SASH									
REPLACE BROKEN & MISSING GLAZ LIFTS (QY)																														REPLACE BROKEN & MISSING GLAZ LIFTS (QY)									
NEW PARTING BEADS (QY-PAIR)																														NEW PARTING BEADS (QY-PAIR)									
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KEY:
E = EAST ELEVATION
S = SOUTH ELEVATION
W = WEST ELEVATION
N = NORTH ELEVATION
EXAMPLE:
E001 = WINDOW #1 ON EAST ELEVATION

REMARKS:
- REMOVE CURRENT WINDOW & REPLACE WITH ORIGINAL WINDOW STORED IN ATTIC
AFTER PERMISSIBLE REPAIRS ARE MADE. REPAIR ALL JOINTS AND CONSOLIDATE
- REMOVE PLASTIC AND DUCT TAPE INTERIOR STORM. REMOVE OLD SEALANT AND
CAULK CONDUIT THRU SILL.
- REMOVE PLASTIC AND DUCT TAPE INTERIOR STORM. REMOVE OLD SEALANT AND
CAULK PRESS SHRO BOTTOM RAIL.
- REPLACE SECTION OF PANEL HOLDING.
- REMOVE DRIVERS HOLDING UPPER SASH FIXED.
- REMOVE WINDOW JOINTS AT UPPER TUSH FOR RAIL. REMOVE SCREWS (4) HOLDING
UPPER SASH FIXED.
- REMOVE PLASTIC PANEL AT LITE.
- REMOVE UPPER SASH BLOCKS.
- REMOVE UPPER SASH BLOCKS.
- REMOVE PLASTIC & WOOD STORMS (2).
- REMOVE WOOD PANEL AND VENT PIPE. REMOVE PLASTIC AND WOOD STORMS (2).
- REMOVE PLASTIC AND WOOD STORMS (3).
- REMOVE PLASTIC & WOOD STORMS (2).
- REMOVE UNISE FROM INTERIOR AND EXTERIOR.



Date:	4/30/2012
Drawn By:	WJP
Reviewed By:	WCK
Project No:	1616.00

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24 Broadway, P.O. Box 45244
Somerville, MA 02144
Tel: 617.625.4901 • www.mcginleykallow.com

WINDOW REPAIR SCHEDULE

A8.2

[illegible]



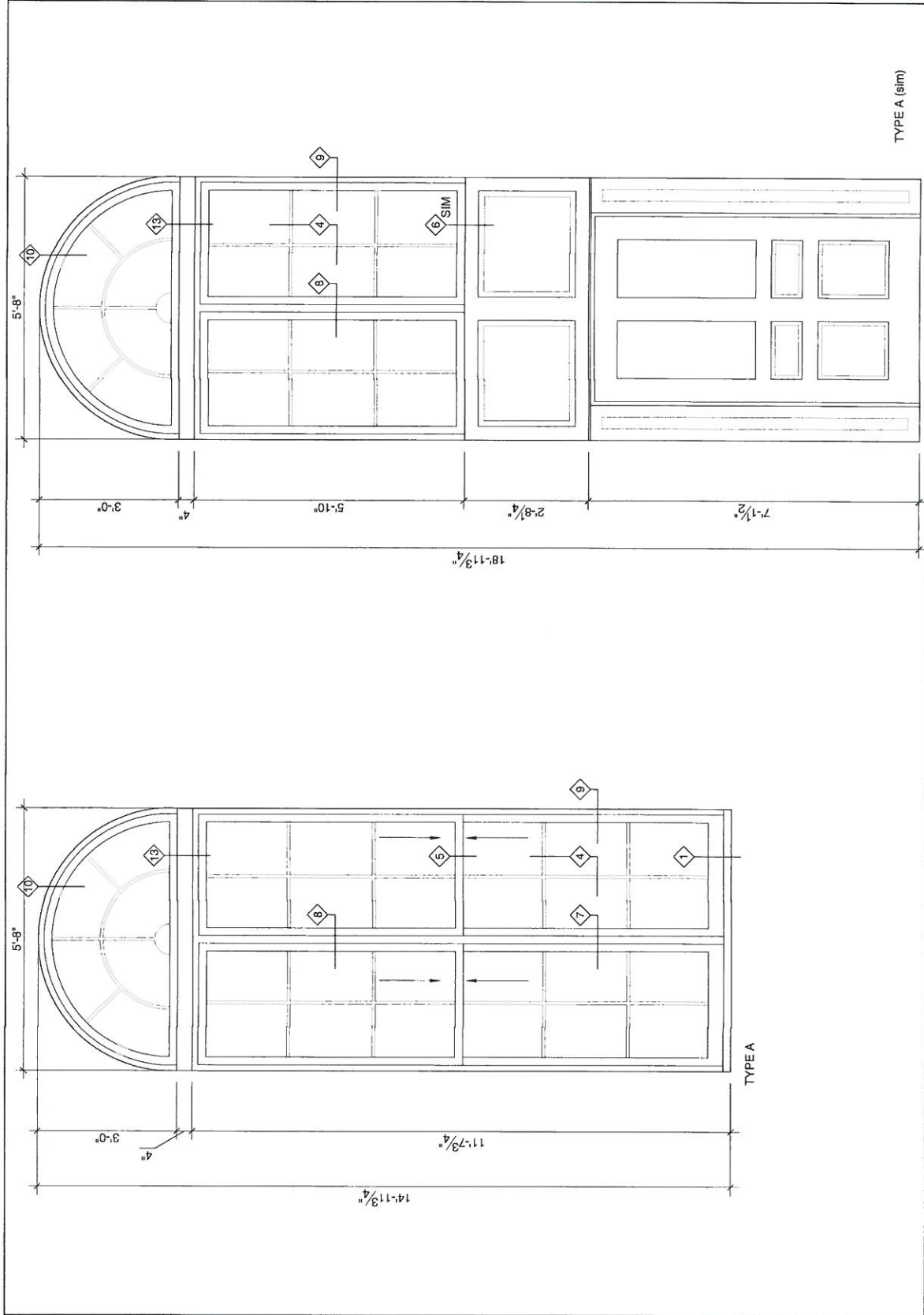
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& Associates, Inc.
124 Broadway, P.O. Box 45248
Somerville, MA 02145
Tel: 617.621.8001 - www.mcginleykalsow.com

WINDOW TYPE
ELEVATIONS

A8.3





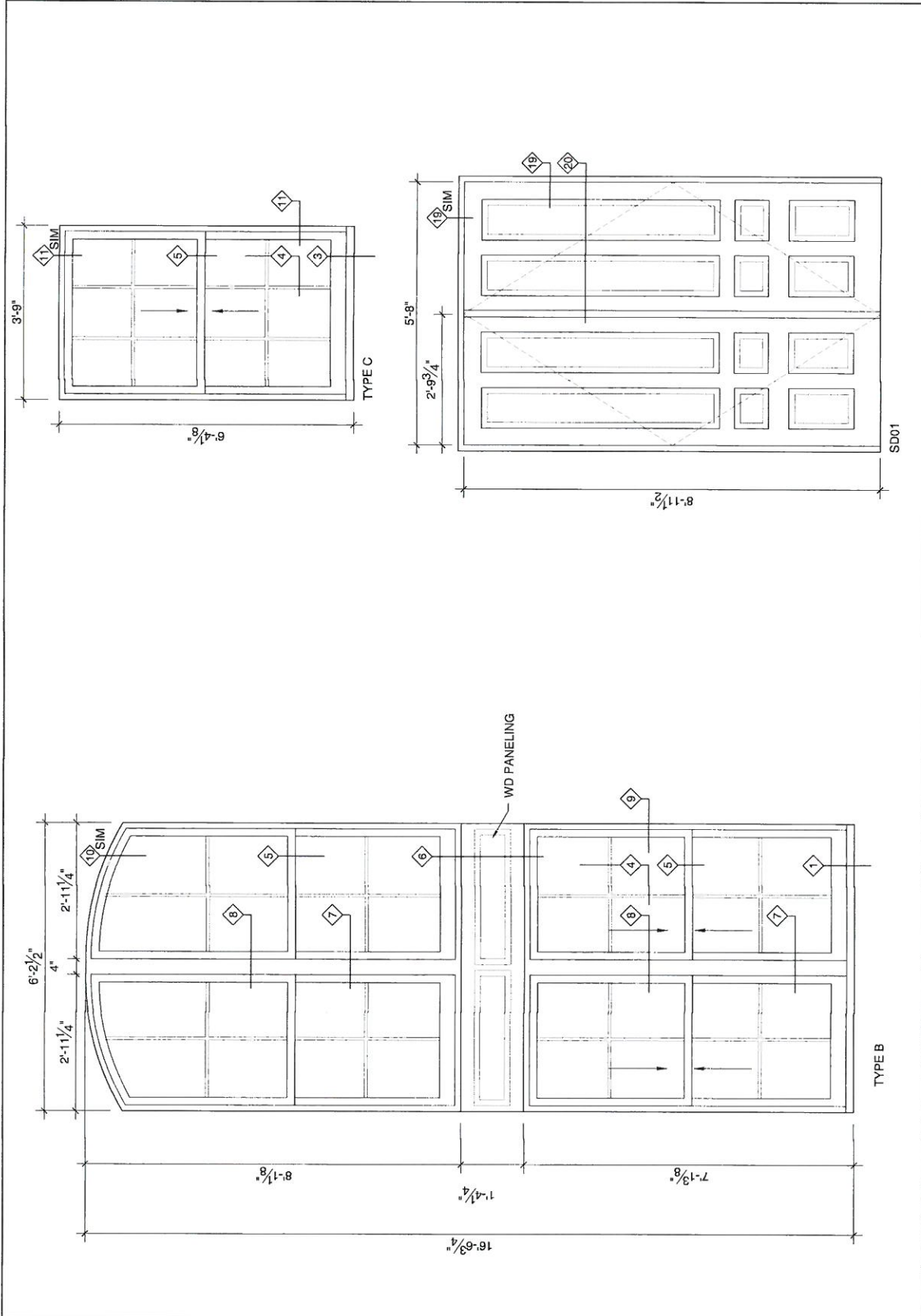
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324 Broadway, P.O. Box 45248
Somerville, MA 02145
617.627.7901 - www.mcginleyka.com

WINDOW TYPE
ELEVATIONS

A8.4





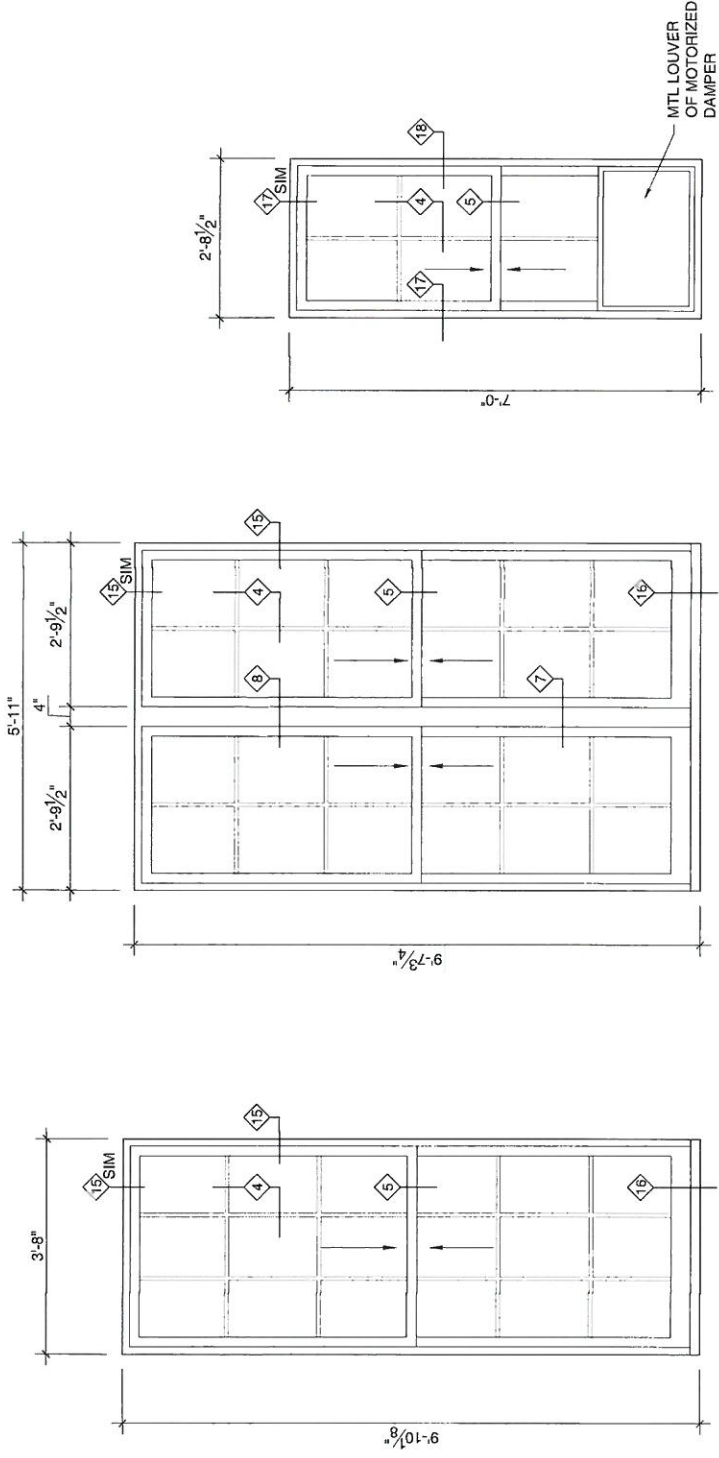
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Somerville, MA 02145
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WINDOW TYPE
ELEVATIONS

A8.5



TYPE F

TYPE E

TYPE D



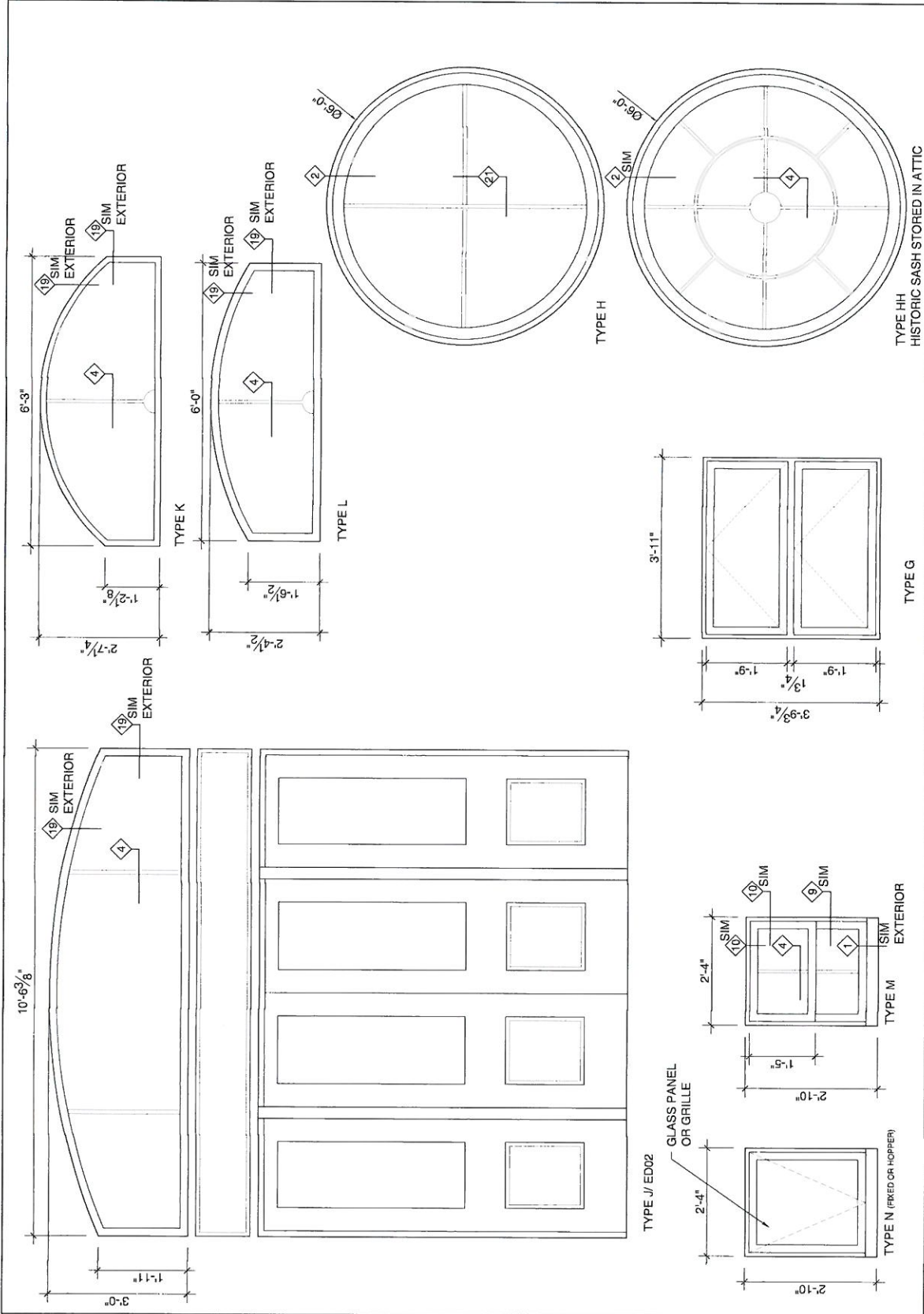
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Somerville, MA 02145
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WINDOW TYPE
ELEVATIONS

A8.6





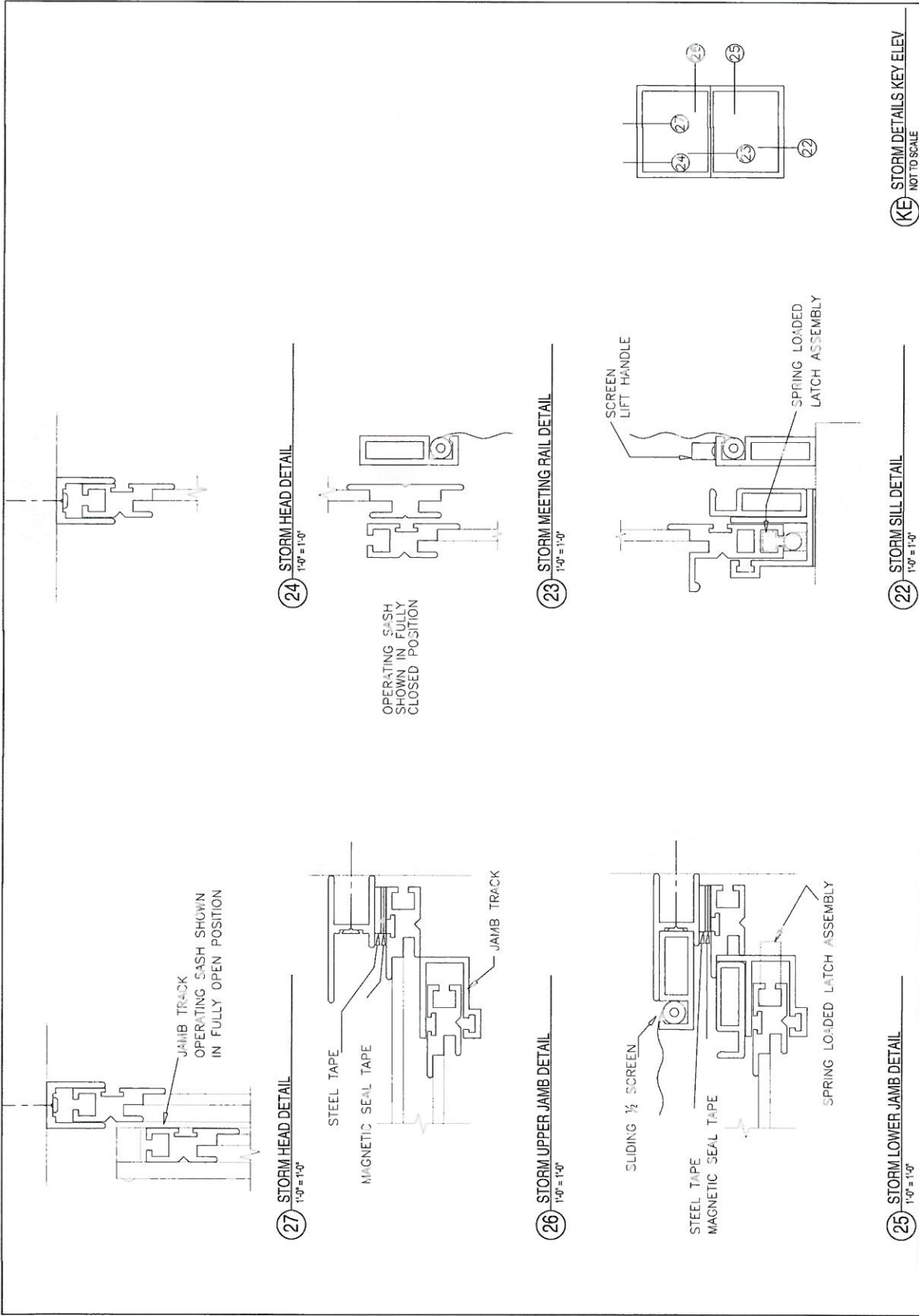
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324 Broadway, P.O. Box 45248
Somerville, MA 02114
617.625.7601 - New England
http://www.mcginkys.com

STORM
WINDOW
DETAILS

A8.9



DOCUMENTATION OF JOB CREATION STATISTICS

The following information is provided based upon the Weekly Payroll Records Reports & Statement of Compliance received.

- During the project period **Campbell Construction Group, LLC** employed five (5) workers classified from *Laborer Semi-Skilled to Carpenter*; totaling 658-hours / (22-weeks)
 - During the project period **Homer Contracting Inc.** employed three (3) workers classified as *Painters*; totaling 112-hours / (5-weeks)
 - During the project period **A-Best Abatement, Inc.** employed seven (7) workers classified from *Worker to Supervisor*; totaling 360-hours / (3-weeks)
-













